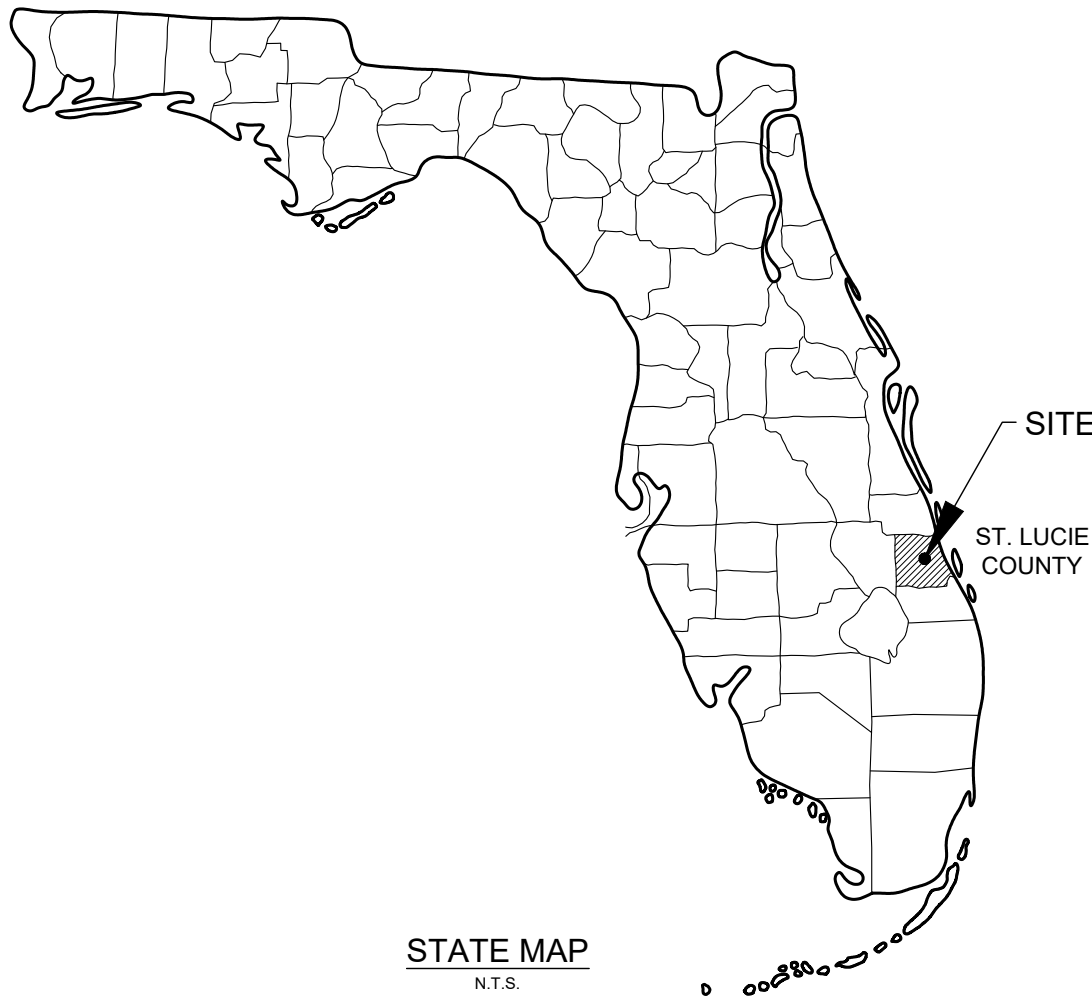


Plotted By: Lust, Connor Sheet Set: STARBUCKS CASHMERE Layout: CV COVER SHEET July 14, 2025 08:42:26am K:\VRE-DEV\Agency\Florida\cashmere_starbucks\CV\plan\sheet\CV COVER SHEET.dwg
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CONSTRUCTION PLANS FOR STARBUCKS CASHMERE LOCATED AT

PARCEL I.D. # 3430-602-0001-000-5
800 SW SAINT LUCIE WEST BLVD, PORT ST. LUCIE, FL 34986
CITY OF PORT ST. LUCIE, FLORIDA



PROJECT TEAM

OWNER/DEVELOPER

VALENTINA PEREZ
EQUITY ONE (FLORIDA PORTFOLIO) LLC
PO BOX 2539
SAN ANTONIO, TEXAS 78299
(561) 630-2314

ARCHITECT

KIM HAROLD
CUHACI PETERSON
2600 MAITLAND CENTER PKWY SUITE 200
MAITLAND, FL 32751
(407) 661-9100

SURVEYOR

MICHAEL T. OWEN
EDC SURVEYORS
10250 SW VILLAGE PKWY SUITE 201
PORT ST. LUCIE, FL
(772) 462-2455

CIVIL ENGINEER

SARA BATTLES, PE
KIMLEY-HORN AND ASSOCIATES, INC.
445 24TH STREET, SUITE 200
VERO BEACH, FLORIDA 32960
(772) 794-4154

LANDSCAPE ARCHITECT

KYLER DURHAM
KIMLEY-HORN AND ASSOCIATES, INC.
445 24TH STREET, SUITE 200
VERO BEACH, FLORIDA 32960
(772) 621-2758

PROJECT LOCATION



VICINITY
N.T.S.



LEGAL DESCRIPTION:
LOT 3A, PARCEL 20, ACCORDING TO PLAT BOOK 59, PAGE 14 OF THE PUBLIC RECORDS OF
ST. LUCIE COUNTY, FLORIDA. CONTAINING 1.02 ACRES, MORE OR LESS

Sheet List Table

Sheet Number	Sheet Title	05/08/2025 BID SET
CV	COVER SHEET	○
C-001	GENERAL NOTES	○
C-002	DEMOLITION & EROSION CONTROL PHASE I PLAN	△
C-003	EROSION CONTROL PHASE II PLAN	○
C-004	DEMOLITION & EROSION CONTROL DETAILS	○
C-100	SITE PLAN	△
C-101	OVERALL SITE PLAN	○
C-150	SITE DETAILS	○
C-200	PAVING GRADING AND DRAINAGE PLAN	△
C-250	PAVING GRADING AND DRAINAGE DETAILS	○
C-300	UTILITY PLAN	△
C-350	UTILITY DETAILS	○
C-351	C-351 - UTILITY DETAILS	○
L-100	TREE DISPOSITION	○
L-101	TREE DISPOSITION NOTES	○
L-200	LANDSCAPE PLAN	△
L-201	LANDSCAPE DETAILS	○
L-202	LANDSCAPE NOTES	○
L-203	MANUFACTURER DETAILS	○
L-300	IRRIGATION PLAN	○
L-301	IRRIGATION DETAILS	○
L-302	IRRIGATION NOTES	○

LEGEND:

- SHEET ISSUED
△ SHEET REVISED AND ISSUED

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Kimley»Horn

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445 24TH STREET, SUITE 200, VERO BEACH, FL 32960
PHONE: 772-794-4100
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106



KHA PROJECT 047427053	DATE 05/08/2025	SCALE AS SHOWN	DESIGNED BY JC	DRAWN BY JC	CHECKED BY SRB
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COVER SHEET

STARBUCKS
CASHMERE
PREPARED FOR
REGENCY

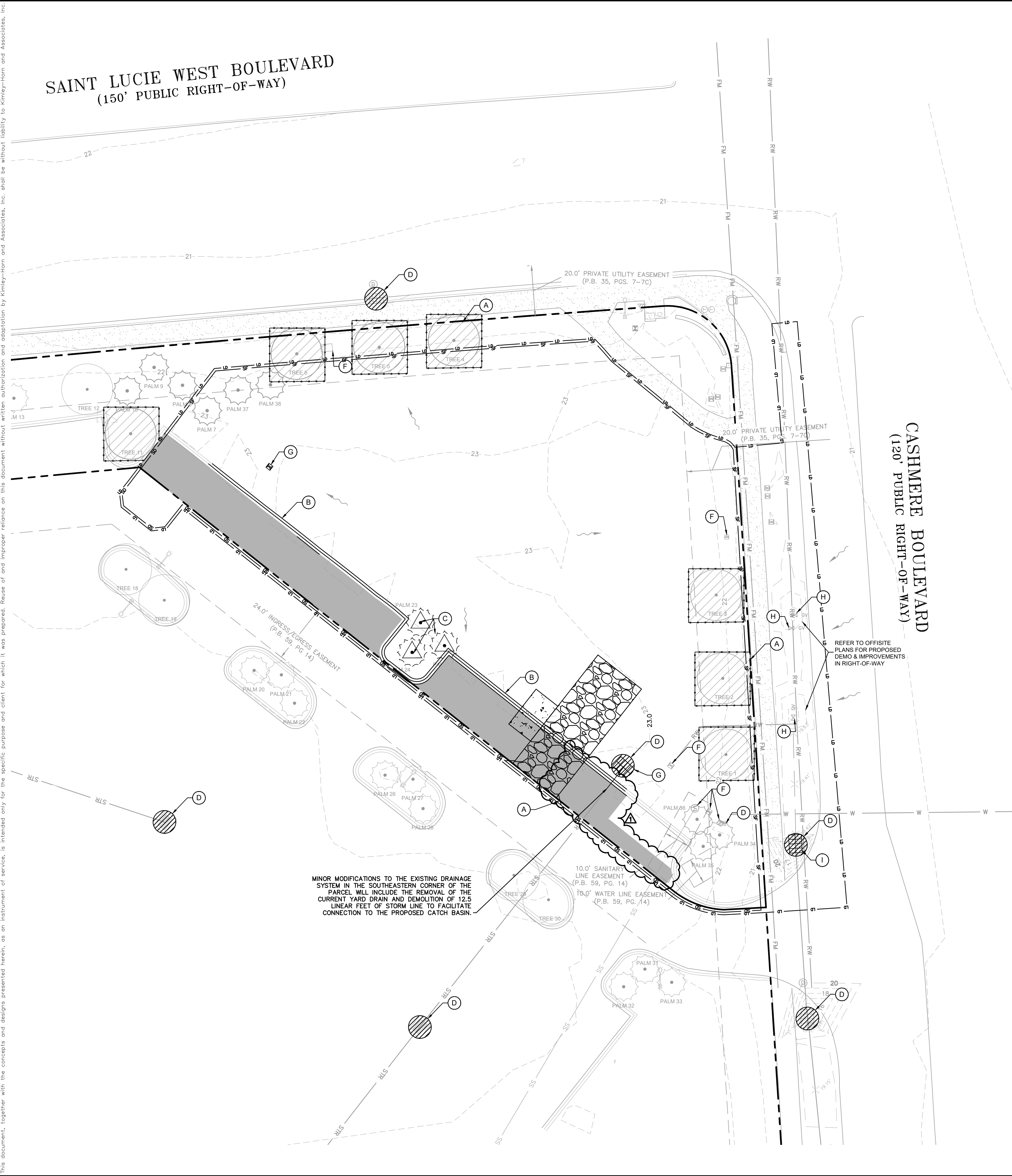
CITY OF PORT ST. LUCIE
FLORIDA

SHEET NUMBER
C-000

PREPARED BY:
Kimley»Horn

25-25347

Plotted By: Lust, Connor Sheet Set: STARBUCKS CASHMERE Layout: C-002 DEMOLITION & EROSION CONTROL PHASE I PLAN July 14, 2025 08:43:00am K:\VRB-LEDEV\Regency\Florida\cashmere_starbucks\CAD\plansheets\C-002 DEMOLITION & EROSION CONTROL PHASE I PLAN.dwg This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



SURVEY NOTE: TREE LOCATION INFORMATION IS BASED UPON SURVEY INFO DATED 4/10/23 ALONG WITH SITE OBSERVATIONS CONDUCTED 8/23/23.

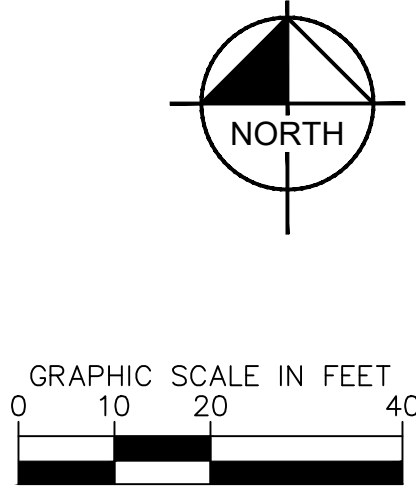
LEGEND

- PROPERTY LINE
- PROPOSED SILT FENCE
- PROPOSED LIMIT OF DISTURBANCE
- PROPOSED SILT DIKE
- PROPOSED TREE PROTECTION FENCE
- EXISTING CURB TO BE REMOVED
- EXISTING ASPHALT TO BE REMOVED
- CONSTRUCTION ENTRANCE/SEDIMENT TRAP
- FLOW ARROW

KEY NOTES:

- (A) PROPERTY LINE
- (B) APPROXIMATELY 240 LF OF F TYPE CURB TO BE REMOVED
- (C) TREE TO BE RELOCATED
- (D) EXISTING WATER METER TO REMAIN
- (E) CATCH BASIN PROTECTION
- (F) EXISTING UTILITY STRUCTURE TO REMAIN
- (G) EXISTING UTILITY STRUCTURE TO BE REMOVED
- (H) EXISTING UTILITY STRUCTURE TO BE REMAIN, REFER TO OFFSITE PLANS.
- (I) EXISTING UTILITY STRUCTURE TO BE MODIFIED, REFER TO OFFSITE PLANS.

TOTAL AREA TO BE CLEARED = .88 ACRES



NOTES

- SITE PREPARATION/DEMOLITION
1. SAW CUT, REMOVE AND PROPERLY DISPOSE OF CONCRETE AND ASPHALT NECESSARY FOR CONSTRUCTION ACTIVITIES. ALL MATERIALS REMOVED DURING CONSTRUCTION SHALL BE DISPOSED OF OFF SITE PER LOCAL ORDINANCE.
- REMOVE SOILS AS NECESSARY TO COMPLETE PROPOSED CONSTRUCTION. ANY IMPACTED SOILS ENCOUNTERED SHALL BE LOADED DIRECTLY ONTO TRANSPORT TRUCKS AND DISPOSED OF PER LOCAL ORDINANCE.
- CONTRACTOR SHALL NOTIFY THE OWNER OF ANY UNFORSEEN CONDITIONS.
- THE PROPERTY CORNERS SHALL BE MARKED BY OWNER AND PROTECTED AND MAINTAINED BY THE CONTRACTOR.
- IF DAMAGED AS A RESULT OF THIS CONTRACT, ANY ITEMS TO REMAIN SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL NOTIFY LOCAL UTILITIES 72 HOURS PRIOR TO DEMOLITION.
- CONTRACTOR SHALL INSPECT OVER SITE PRIOR TO CONSTRUCTION START AND VERIFY THAT THE ENGINEERING DESIGN & CONSTRUCTION (EDC), INC. INDICATES THE CORRECT TOPOGRAPHY. IF ANY INACCURACIES ARE NOTED, PLEASE CONTACT OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH ALL UTILITIES AND COMPLY WITH REGULATIONS AND STANDARDS FOR EACH UTILITY.
- CONTRACTOR SHALL PROVIDE BARRIERS, PERIMETER FENCING, PARTITIONS, PLANKING, BRACING, SHORING, LIGHTS AND SIGNS AS NECESSARY TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES.
- CONTRACTOR SHALL EXERCISE CARE TO PREVENT DUST, VIBRATION, SETTLEMENT, OR OTHER IMPACT TO ADJACENT PROPERTY.
- THE REMOVAL OF HAZARDOUS MATERIALS CONTAINING MATERIALS SHALL BE IN ACCORDANCE WITH REGULATORY REQUIREMENTS, RECOMMENDATIONS IN THE ENVIRONMENTAL SURVEY AND CONTRACT DOCUMENTS.
- CONTOURS SHOWN AS EXISTING ON THIS PLAN ARE TAKEN FROM THE INFORMATION PROVIDED IN THE ENGINEERING DESIGN & CONSTRUCTION (EDC), INC. CONTRACTOR SHOULD FIELD VERIFY THE GRADES TO THEIR SATISFACTION PRIOR TO BIDDING.
- REFER TO OFFSITE PLANS FOR MODIFICATIONS TO RIGHT-OF-WAY.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THE SITE MAP, THIS DRAWING ("THE STANDARD DETAILS"), THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLotation BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE, BUT IN NO CASE MORE THAN 7 DAYS, IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. ONLY USE INGRESS/EGRESS LOCATIONS AS PROVIDED.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
- SEE SITE PLAN FOR PERMANENT AND TEMPORARY SIGNAGE.
- GENERAL CONTRACTOR IS TO DESIGNATE/IDENTIFY AREAS ON THE SITE MAPS, INSIDE OF THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.
- REFER TO THE SWPPP FOR REPORTABLE SPILL QUANTITIES OF PETROLEUM PRODUCTS AND/OR HAZARDOUS WASTES.
- REFER TO THE SPECIFICATIONS FOR RUN-OFF SAMPLING/MONITORING REQUIREMENTS IF APPLICABLE TO SITE DURING CONSTRUCTION.
- CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.
- IN THE EVENT OF HEAVY RAINFALL, THE CONTRACTOR IS RESPONSIBLE FOR REMOVING TEMPORARY INLET PROTECTION TO ENSURE FLOODING IN TRAVEL LANES DOES NOT OCCUR. CONTRACTOR TO REINSTALL IMMEDIATELY AFTER STORM EVENT.

STARBUCKS
CASHMERE
PREPARED FOR
REGENCY

DEMOLITION &
EROSION CONTROL
PHASE I PLAN PHASE I

FLORIDA
CITY OF PORT ST. LUCIE

Kimley»Horn

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445 24TH STREET, SUITE 200, VERO BEACH, FL 32960
PHONE: 772-794-4100
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

ENGINEER
KIMLEY-HORN
No. 75804
STATE OF
FLORIDA
PROFESSIONAL

KHA PROJECT
047427053
DATE
05/08/2025
SCALE AS SHOWN
DESIGNED BY JC
DRAWN BY JC
CHECKED BY AC

5/07/25
EL
A PER DESIGN CHANGES
REVISIONS
No.

DATE
BY

SHEET NUMBER
C-002

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DIAL 811
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Call before you dig.
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

811

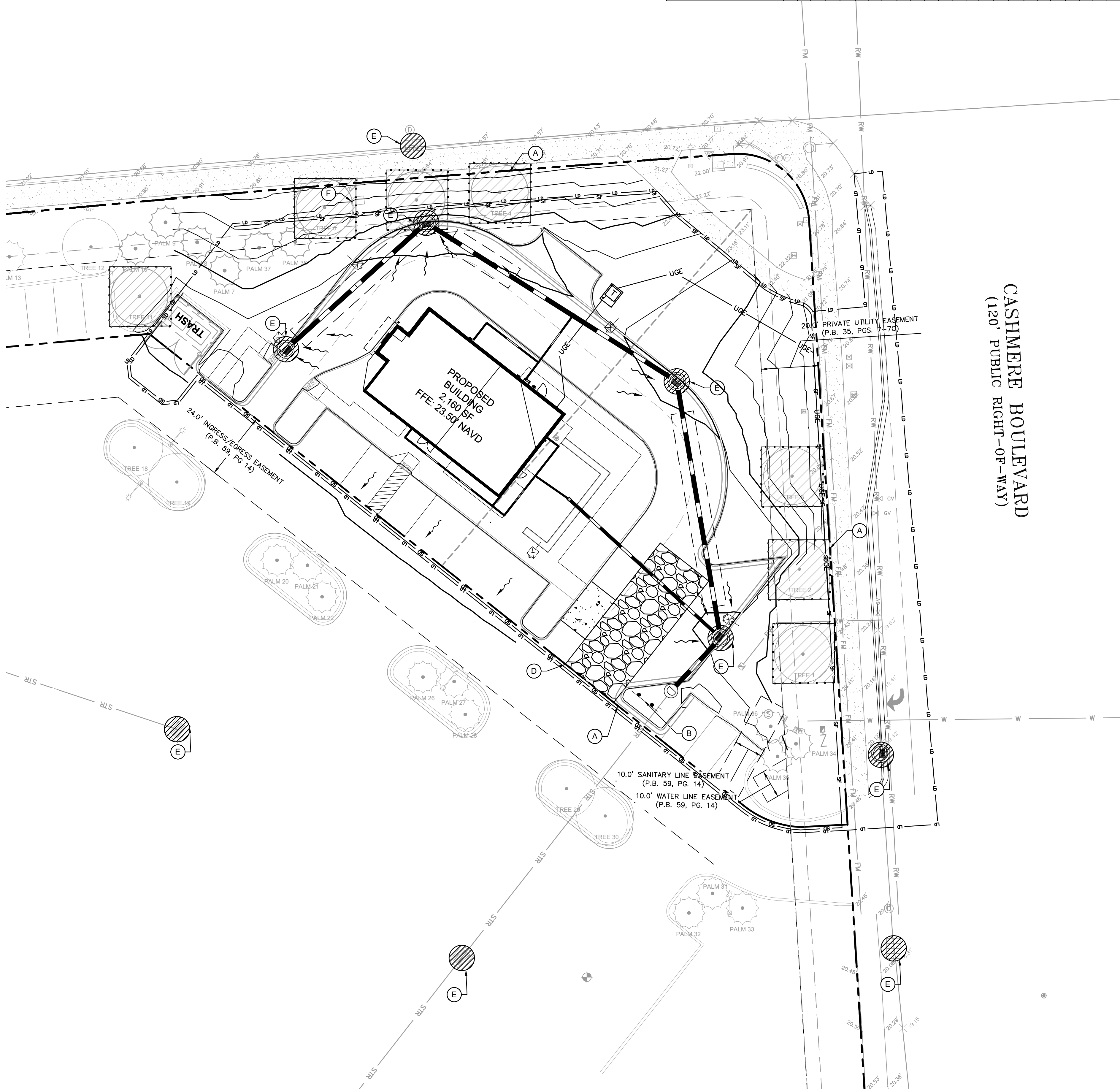
P24-148

Plotted By: Lust, Connor Sheet Set: STARBUCKS CASHMERE Layout: C-003 PHASE II July 14, 2025 08:43:52am K:\VRB-LDE\Regency\Florida\Cashmere.starbucks\CAD\plansheets\EROSION CONTROL PHASE II PLAN.dwg

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SAINT LUCIE WEST BOULEVARD
(150' PUBLIC RIGHT-OF-WAY)

SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE												
NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE												
CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEPT	OCT	NOV	DEC
TEMPORARY CONSTRUCTION EXITS												
TEMPORARY CONTROL MEASURES												
SEDIMENT CONTROL BASINS												
STRIP & STOCKPILE TOPSOIL												
ROUGH GRADE												
STORM FACILITIES												
SITE CONSTRUCTION												
PERMANENT CONTROL STRUCTURES												
FOUNDATION / BUILDING CONSTRUCTION												
FINISH GRADING												
LANDSCAPING/SEED/FINAL STABILIZATION												



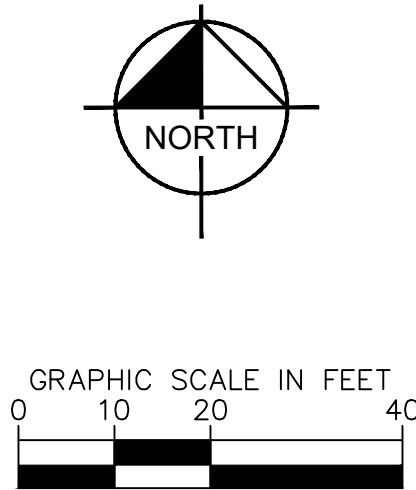
SURVEY NOTE: TREE LOCATION INFORMATION IS BASED UPON SURVEY INFO DATED 4/10/23 ALONG WITH SITE OBSERVATIONS CONDUCTED 8/23/23.

LEGEND

- PROPERTY LINE
- PROPOSED SILT FENCE
- PROPOSED LIMIT OF DISTURBANCE
- PROPOSED SILT DIKE
- PROPOSED TREE PROTECTION FENCE
- CONSTRUCTION ENTRANCE/SEDIMENT TRAP
- PROPOSED STORMWATER PIPE
- SURFACE WATER FLOW DIRECTION
- INLET PROTECTION (REFER TO DETAIL ON SHEET C-004)
- SWPP INFORMATION SIGN (REFER TO DETAIL ON SHEET C-004)

KEY NOTES:

- PROPERTY LINE
- STORM WATER POLLUTION PREVENTION SIGN
- EXISTING TRANSFORMER
- CONSTRUCTION ENTRANCE/ SEDIMENT TRAP
- CATCH BASIN PROTECTION



TOTAL AREA TO BE CLEARED = .88 ACRES

SEQUENCE OF CONSTRUCTION

UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAYDOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.

- PHASE 1:
- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES (2) AND INSTALL SILT FENCE. CONSTRUCT IMPROVEMENTS TO MAIN ACCESS DRIVE AND MEDIAN CUT-THROUGH.
 - CONTRACTOR TO INSTALL TEMPORARY PROTECTIVE BARRIER FENCING.
 - CONSTRUCT AND STABILIZE SEDIMENT BASIN AND DRAINAGE SWALES (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL CONTROL DEVICES LISTED ABOVE)
 - INSTALL INLET PROTECTION AT EXISTING INLET(S)
 - INSTALL AND STABILIZE ANY NECESSARY HYDRAULIC CONTROL STRUCTURES (DIKES, CHECK DAMS, OUTLET TRAPS, RISER PIPE DISCHARGE POINT, ETC.)
 - PREPARE CLEARING AND GRUBBING OF THE SITE, IF APPLICABLE.
- PHASE 2:
- MAINTAIN APPLICABLE PHASE 1 BMPS.
 - PERFORM MASS GRADING, ROUGH GRADE TO ESTABLISH PROPOSED DRAINAGE PATTERNS.
 - INSTALL PROVIDED STORM, CATCH BASINS, AND UTILITIES.
 - START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
 - CONSTRUCT CURB AND PAVING.
 - TEMPORARILY SEED WITH PURE LIVE SEED, THROUGHOUT CONSTRUCTION, DISTURBED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE OR AS REQUIRED BY GENERIC PERMIT.
 - PROTECT TREES AROUND PERIMETER OF SITE.

HALT ALL ACTIVITIES AND CONTACT THE CONSULTANT TO PERFORM INSPECTION AND CERTIFICATION OF BMPS. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRE-CONSTRUCTION MEETING WITH CONSULTANT AND ALL GROUND-DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION. SITE PREPARATION SHOULD BE IN ACCORDANCE WITH GEOTECHNICAL INVESTIGATION.

NOTE: THE SEQUENCE OF CONSTRUCTION SHOWN ABOVE IS A GENERAL OVERVIEW AND IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS INCLUDED IN THESE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IMMEDIATELY, PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND ALL OTHER APPLICABLE LAWS.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THE SITE MAP, THIS DRAWING ("THE STANDARD DETAILS"), THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLotation BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE, BUT IN NO CASE MORE THAN 7 DAYS, IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. ONLY USE INGRESS/EGRESS LOCATIONS AS PROVIDED.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
- SEE SITE PLAN FOR PERMANENT AND TEMPORARY SIGNAGE.
- GENERAL CONTRACTOR IS TO DESIGNATE/IDENTIFY AREAS ON THE SITE MAPS, INSIDE OF THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.
- REFER TO THE SWPPP FOR REPORTABLE SPILL QUANTITIES OF PETROLEUM PRODUCTS AND/OR HAZARDOUS WASTES.
- REFER TO THE SPECIFICATIONS FOR RUN-OFF SAMPLING/MONITORING REQUIREMENTS IF APPLICABLE TO SITE DURING CONSTRUCTION.
- CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.
- IN THE EVENT OF HEAVY RAINFALL, THE CONTRACTOR IS RESPONSIBLE FOR REMOVING TEMPORARY INLET PROTECTION TO ENSURE FLOODING IN TRAVEL LANES DOES NOT OCCUR. CONTRACTOR TO REINSTALL IMMEDIATELY AFTER STORM EVENT.

DUST CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS REQUIRED TO INCLUDE ALL MEASURES TO CONTROL DUST IN THE BASE BID.

TRACK OUT IS THE RESPONSIBILITY OF THE CONTRACT. THE CONTRACTOR IS REQUIRED TO INCLUDE ALL MEASURES TO CONTROL TRACK OUT IN BASE BID.

CALL 48 HOURS BEFORE YOU DIG



IT'S THE LAW! DIAL 811

Know what's below. Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

Kimley»Horn

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445 24TH STREET, SUITE 200, VERO BEACH, FL 32960
PHONE: 772-794-4100
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106



KHA PROJECT	DATE	SCALE	AS SHOWN	DESIGNED BY	JC	DRAWN BY	JC	CHECKED BY	ACT
047427053	05/08/2025								

PHASE II EROSION CONTROL PLAN

STARBUCKS CASHMERE
PREPARED FOR REGENCY

FLORIDA CITY OF PORT ST. LUCIE

SHEET NUMBER

C-003

REVISIONS

No.

DATE

BY

SAINT LUCIE WEST BOULEVARD
(150' PUBLIC RIGHT-OF-WAY)

CASHMERE BOULEVARD
(120' PUBLIC RIGHT-OF-WAY)

PROPOSED BUILDING
FTE: 23.50' NAVD
2,160 SF

20.0' PRIVATE UTILITY EASEMENT
(P.B. 35, PGS. 7-7C)

25.0' BUILDING SETBACK

15.0' LANDSCAPE BUFFER

24.0' INGRESS/EGRESS EASEMENT
(P.B. 59, PG. 14)

10.0' WATER LINE EASEMENT
(P.B. 59, PG. 14)

10.0' SANITARY LINE EASEMENT
(P.B. 59, PG. 14)

PROPOSED FPL TRANSFORMER

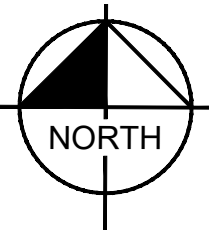
NO BUILD LINE DEVELOPMENT REQUIRED, NOT CITY

TRASH ENCLOSURE

TREE 1, TREE 2, TREE 3, TREE 4, TREE 12, TREE 13, TREE 14, TREE 15, TREE 16, TREE 17, TREE 18, TREE 19, TREE 20, TREE 21, TREE 22, TREE 23, TREE 24, TREE 25, TREE 26, TREE 27, TREE 28, TREE 29, TREE 30, TREE 31, TREE 32, TREE 33, TREE 34, TREE 35, TREE 36, TREE 37, TREE 38, TREE 39, TREE 40, TREE 41, TREE 42, TREE 43, TREE 44, TREE 45, TREE 46, TREE 47, TREE 48, TREE 49, TREE 50, TREE 51, TREE 52, TREE 53, TREE 54, TREE 55, TREE 56, TREE 57, TREE 58, TREE 59, TREE 60, TREE 61, TREE 62, TREE 63, TREE 64, TREE 65, TREE 66, TREE 67, TREE 68, TREE 69, TREE 70, TREE 71, TREE 72, TREE 73, TREE 74, TREE 75, TREE 76, TREE 77, TREE 78, TREE 79, TREE 80, TREE 81, TREE 82, TREE 83, TREE 84, TREE 85, TREE 86, TREE 87, TREE 88, TREE 89, TREE 90, TREE 91, TREE 92, TREE 93, TREE 94, TREE 95, TREE 96, TREE 97, TREE 98, TREE 99, TREE 100

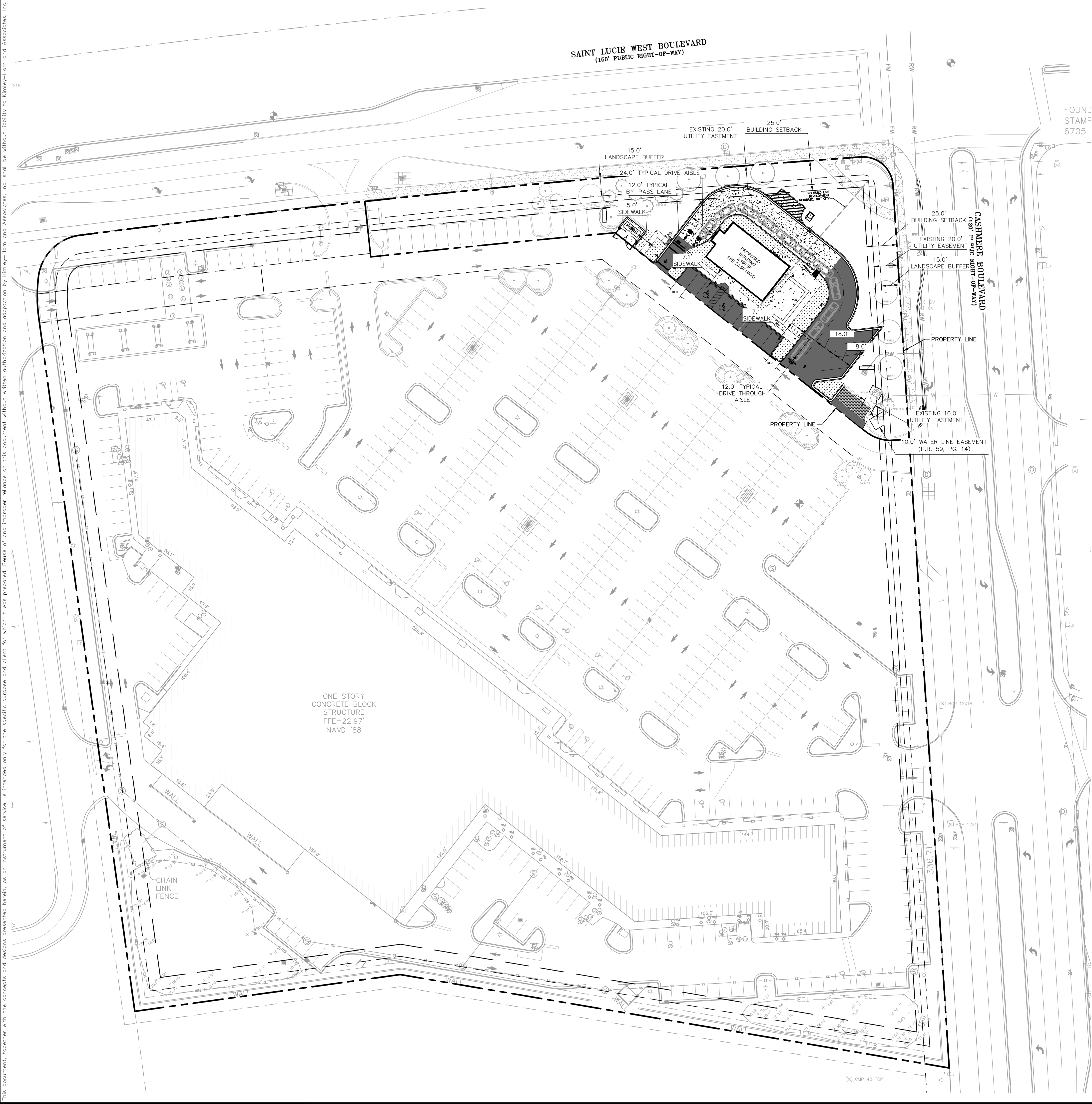
REFER TO OFFSITE PLANS

SUNSHINE STATE ONE CALL OF FLORIDA, INC.



C-100

Plotted By: Lust, Connor Street Set: STARBUCKS CASHMERE Layout: C-101 Overall Site Plan July 14, 2025 08:45:31am K:\VRB\LD\VR\Florida\Cashmere\starbucks\CAD\plansheets\C-101_Overall_Site_Plan.dwg This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



SURVEY NOTE: TREE LOCATION INFORMATION IS BASED UPON
SURVEY INFO DATED 4/10/23 ALONG WITH SITE OBSERVATIONS
CONDUCTED 8/23/23.

SITE DATA:

LOCATION:	SECTION 25 TOWNSHIP 36S RANGE 39E		
PARCEL ID:	3430-602-0001-000-5		
ADDRESS:	SW CORNER OF ST LUCIE WEST BOULEVARD & SW CASHMERE BOULEVARD		
LEGAL DESCRIPTION:	BANKUNITED AT CASHMERE CORNERS ST LUCIE WEST PLAT NO. 188 (P.B. 59-14) LOT 3A PARCEL 20		
ZONING:	GENERAL COMMERCIAL		
FUTURE ZONING:	GENERAL COMMERCIAL		
LAND USE:	VACANT LAND		
TYPE OF PROJECT:	RETAIL		
FLOOD ZONE:	"X" (F.I.R.M. PANEL #12111C0260J)		
PROJECT AREA:	45,137 SF	1.04 AC	
BUILDING ELEVATIONS:			
TOP OF ROOF SCREEN:	20.83'		
TOP OF PARAPET:	18.00'		
BUILDING SETBACKS:			
	REQUIRED	PROVIDED	
NORTH	25.0'	45.5'	
EAST	25.0'	89.6'	
SOUTH-WEST	25.0'	30.9'	

LOT COVERAGE:	ACRES	SF	PERCENTAGE %
SITE AREA	1.04	45,137	100.00
IMPERVIOUS AREA	0.35	15,055	33.35
BUILDING COVERAGE	0.05	2,160	14.35
PAVEMENT & SIDEWALK	0.28	12,356	82.07
OUTDOOR SEATING	0.01	539	3.58
PERVIOUS AREA	0.69	30,082	66.65

STARBUCKS PARCEL PARKING SUMMARY:

REQUIRED PARKING RATIO	1 SPOT PER 75 SF (BUILDING) 1 SPOT PER 75 SF (OUTDOOR SEATING)
------------------------	-------------------------------------------------------------------

	REQUIRED	PROVIDED
STANDARD	34	28
ACCESSIBLE PER ADA	2	2
TOTAL PARKING	36	30 *

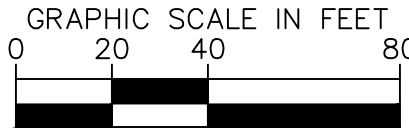
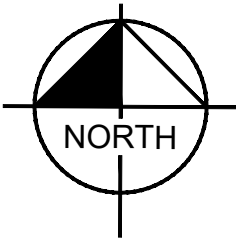
*REQUIRED PARKING NOT MET ON STARBUCKS PARCEL
AN OVERALL SHARED PARKING AGREEMENT IS REQUIRED

OVERALL SITE PARKING SUMMARY:

REQUIRED PARKING RATIO	1 SPOT PER 200SF 5 SPOTS PER 1000SF	
	<u>REQUIRED</u>	<u>PROVIDED</u>
STANDARD	457	457
ACCESSIBLE PER ADA	9	20
GAS STATION PUMPS	0	8
CART CORRALS	N/A	6 (NOT INCLUDED IN TOTAL)
TOTAL PARKING	466	485

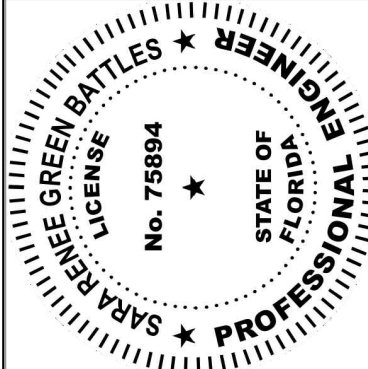
SITE LEGEND

	PROPERTY LINE
	PROPOSED LANDSCAPE BUFFER
	PROPOSED BUILDING SETBACK
	PROPOSED D CURB
	STANDARD DUTY ASPHALT PAVEMENT
	HEAVY DUTY CONCRETE
	CONCRETE SIDEWALK



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KHA PROJECT 047427053	DATE 05/08/2025	SCALE AS SHOWN	DESIGNED BY JC	DRAWN BY JC	CHECKED BY ACF
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OVERALL SITE PLAN

**STARBUCKS
CASHMERE**
PREPARED FOR
REGENCY

CITY OF PORT ST. LUCIE FLORIDA

SHEET NUMBER
C-101

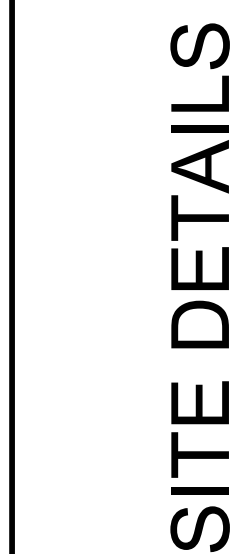
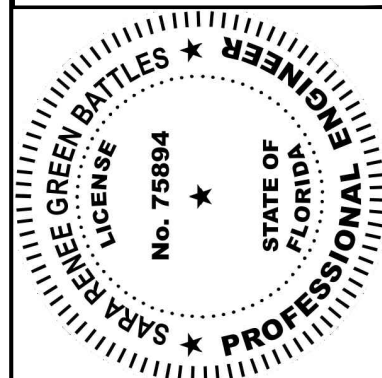
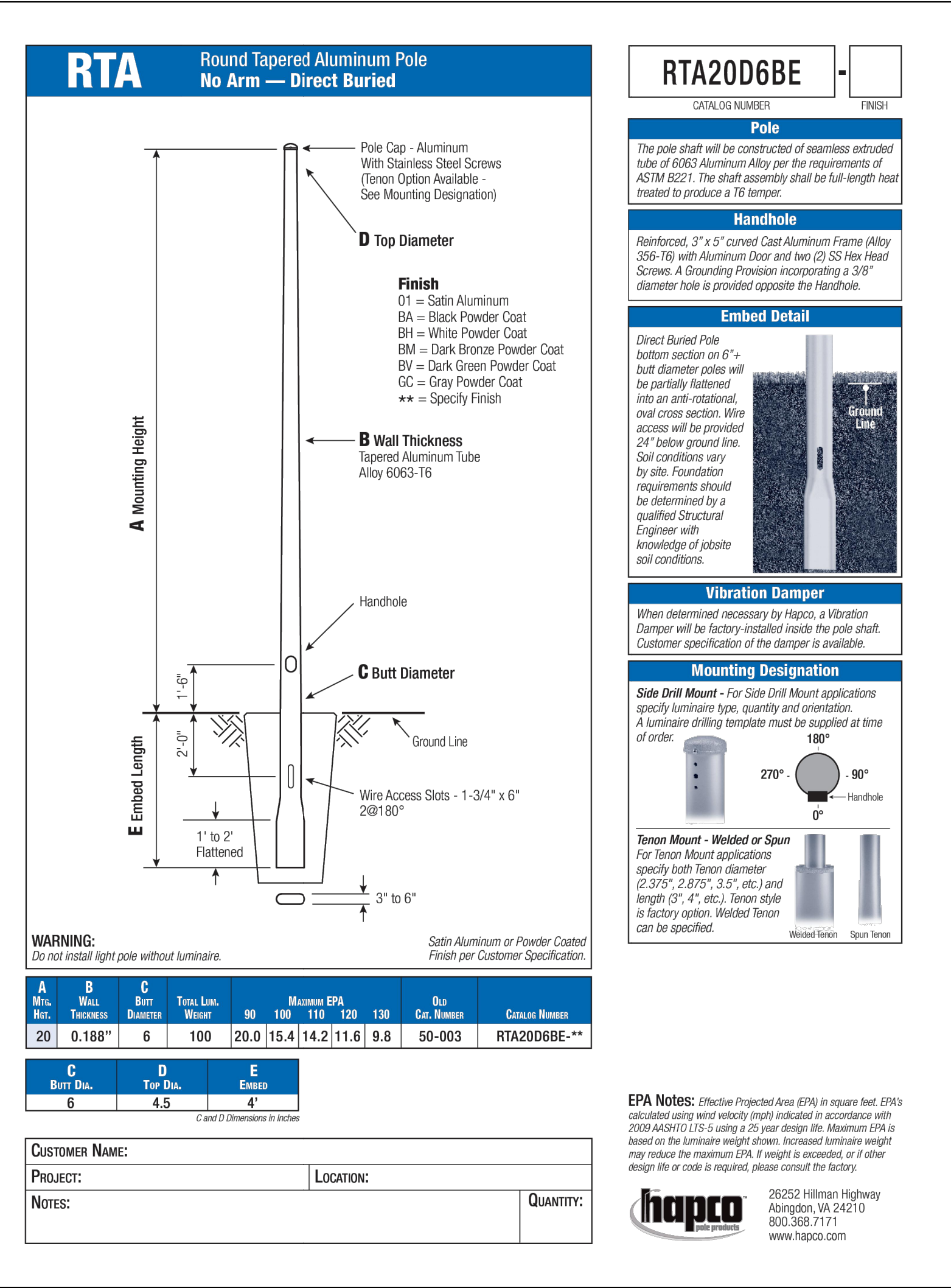
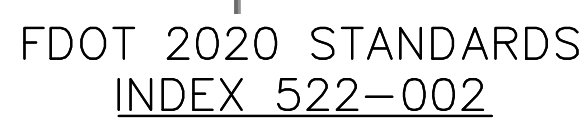
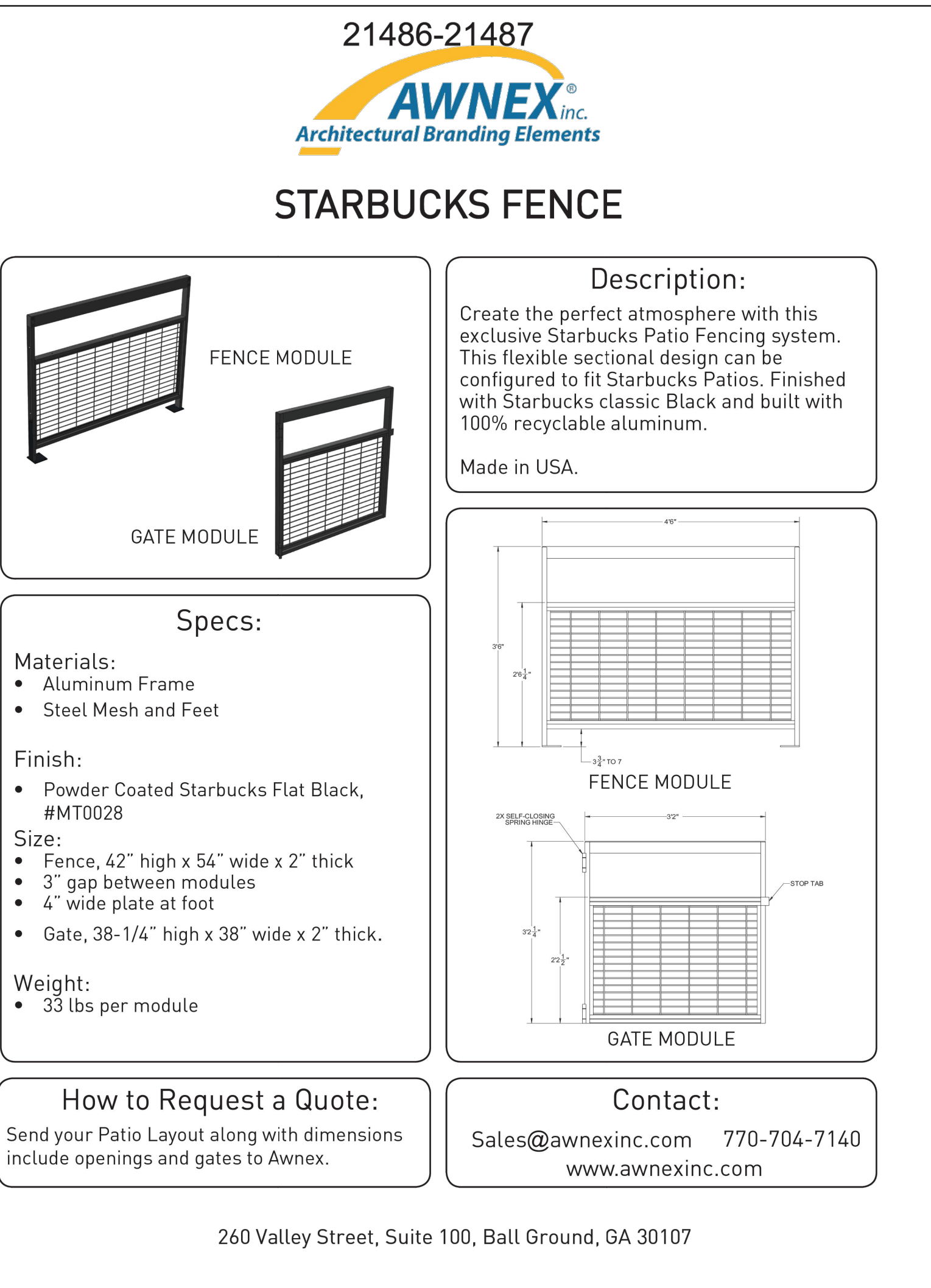
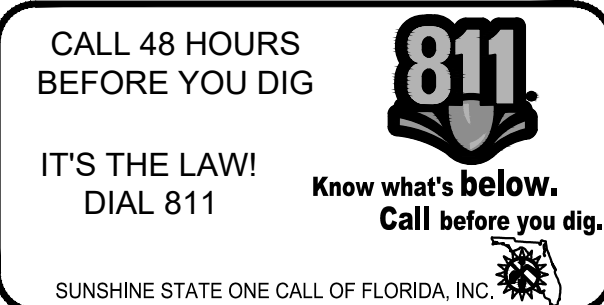
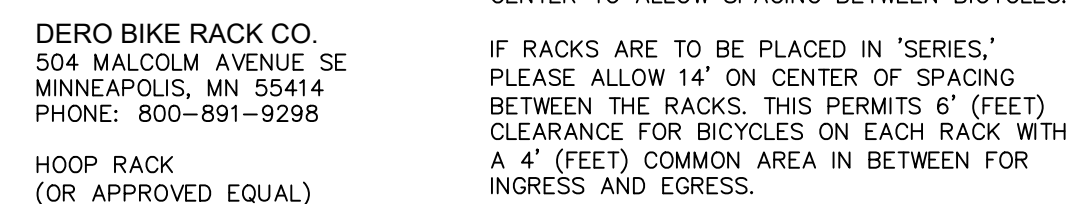
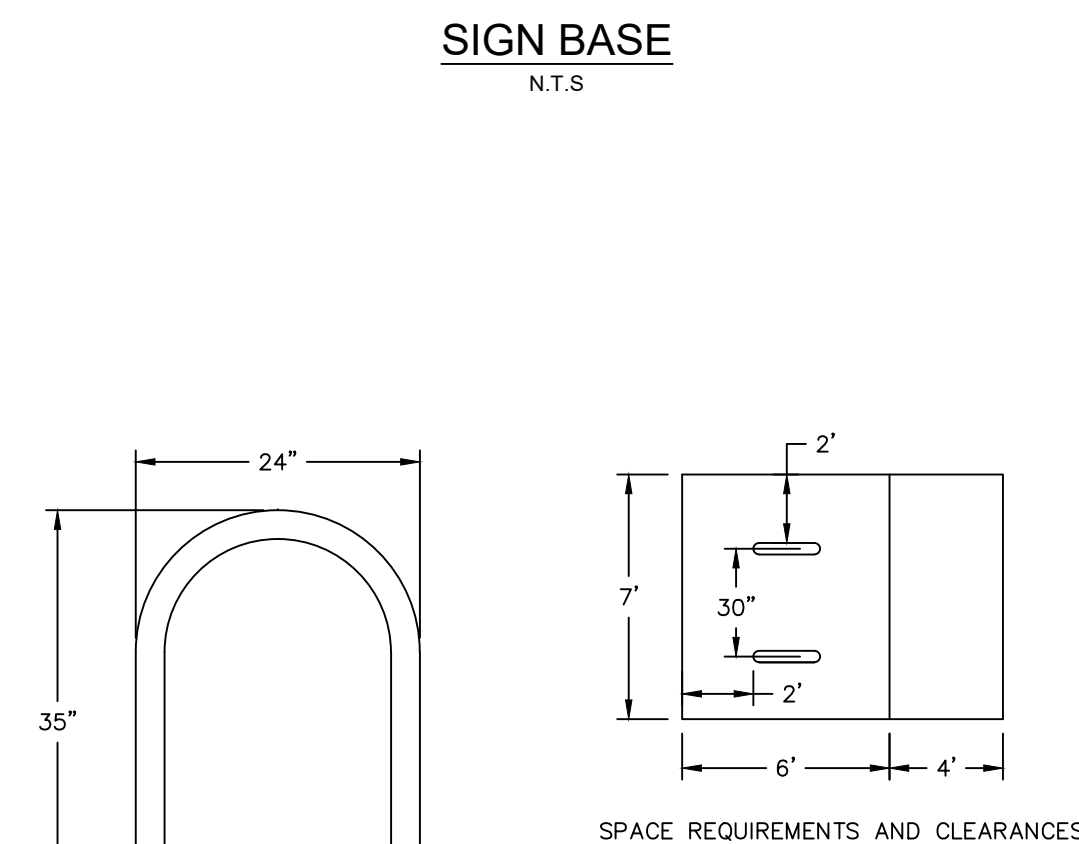
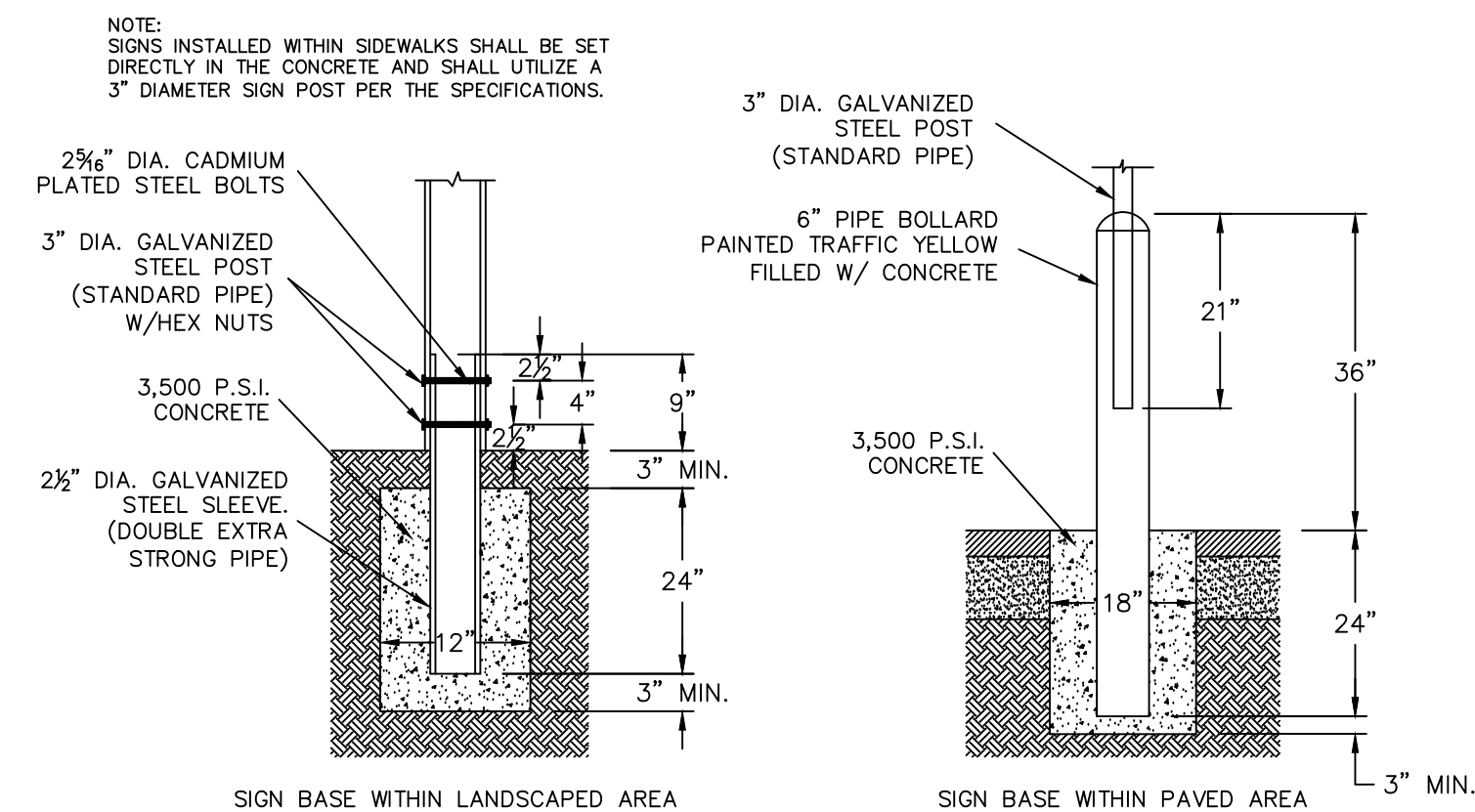
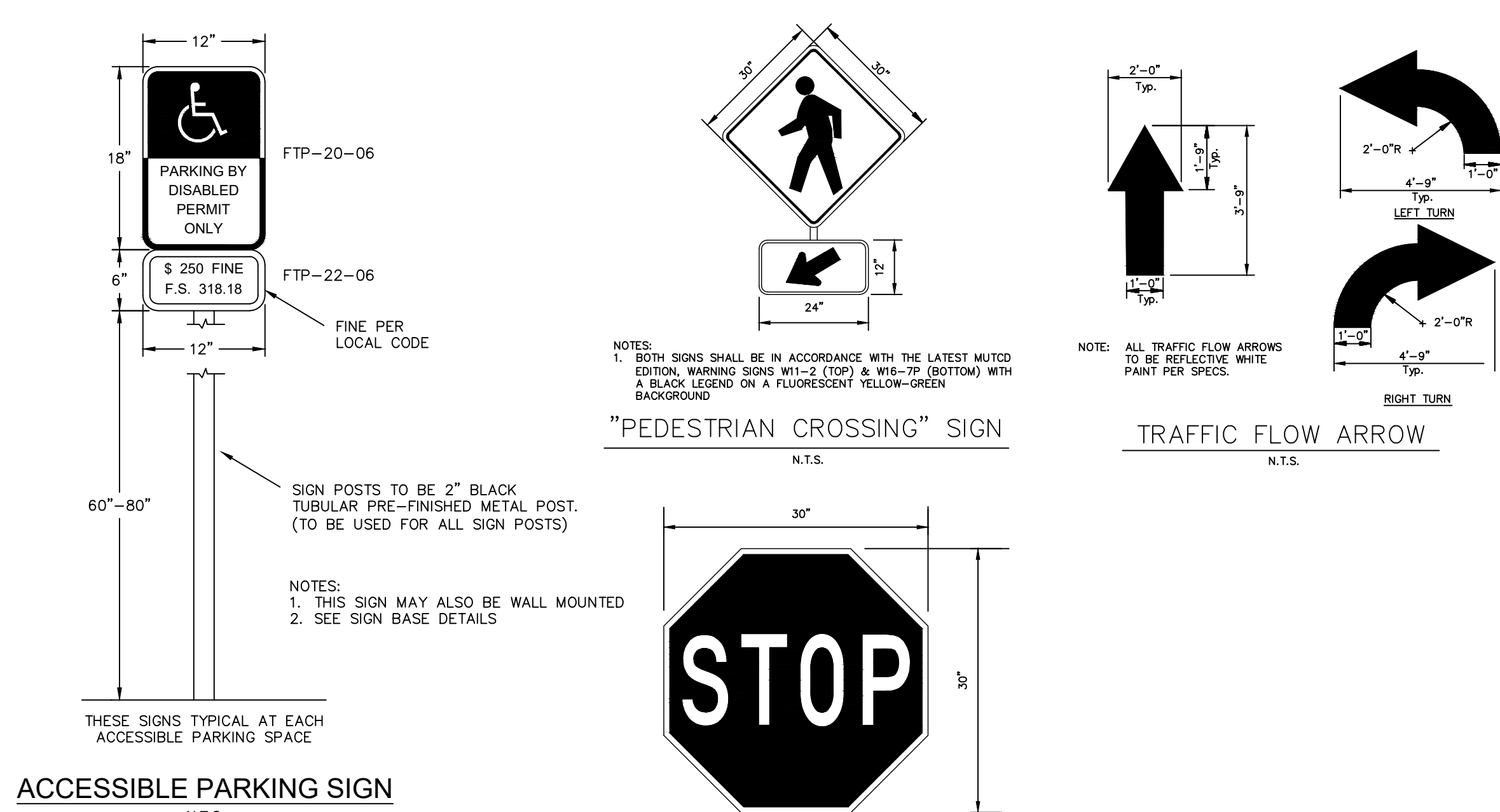
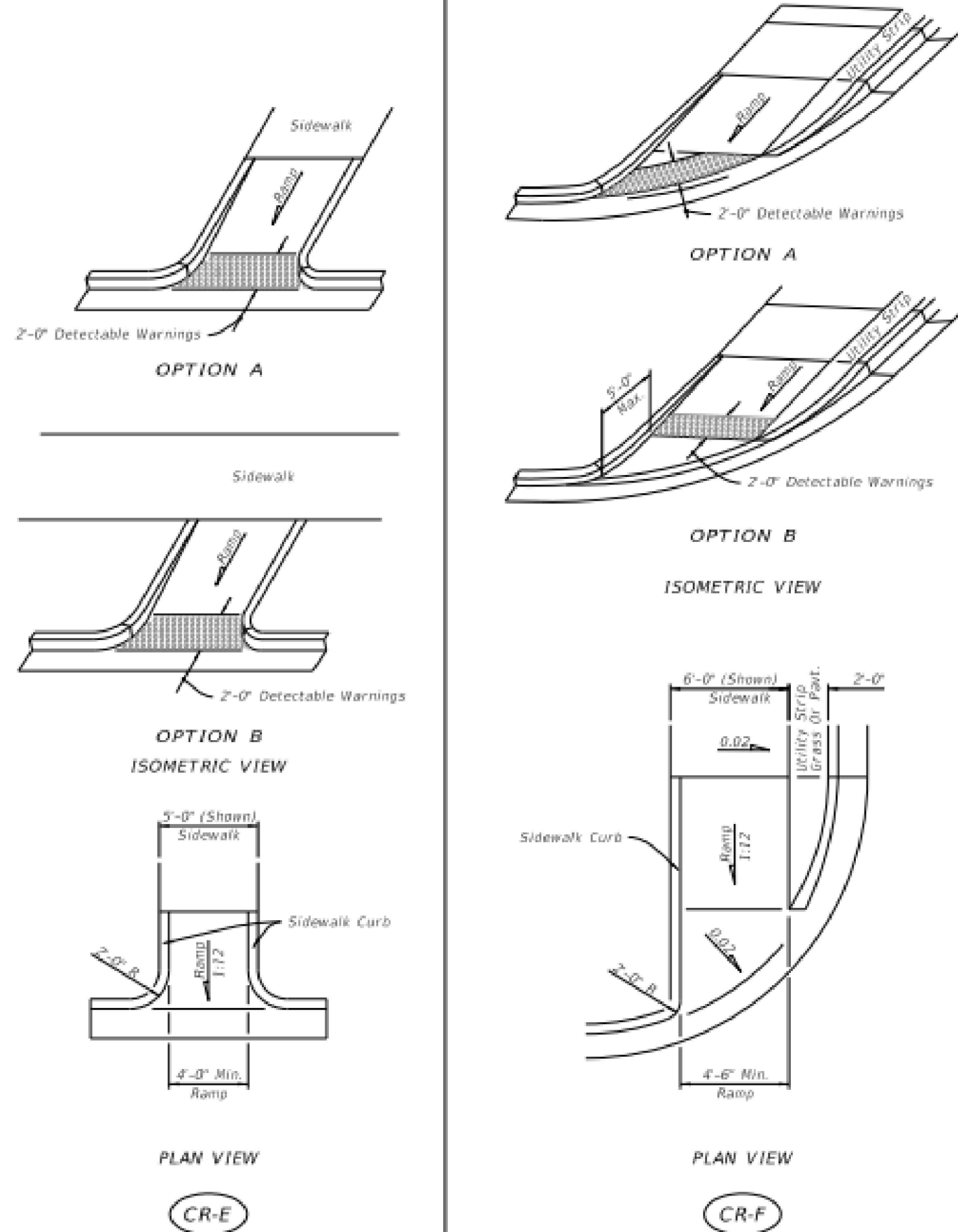
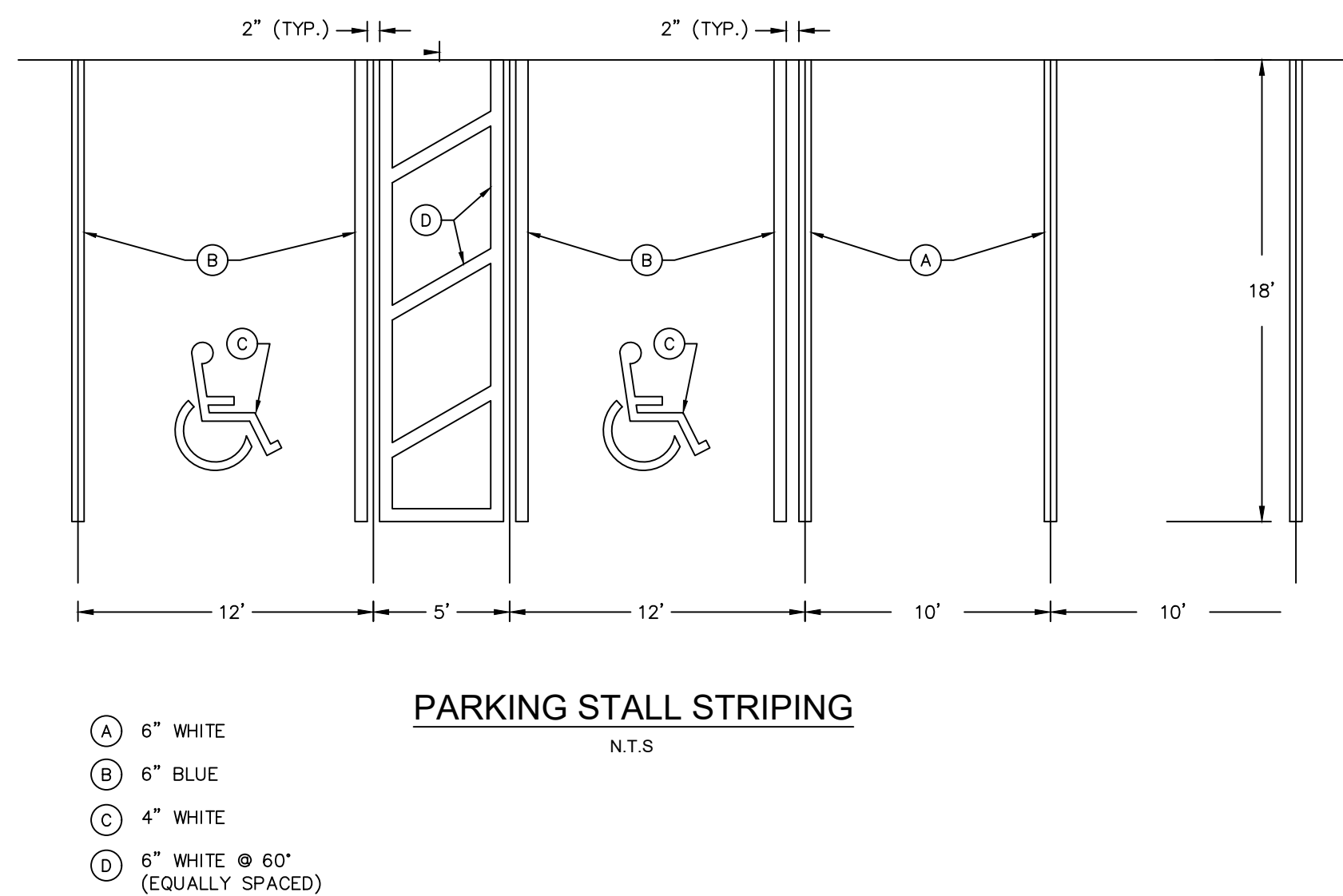
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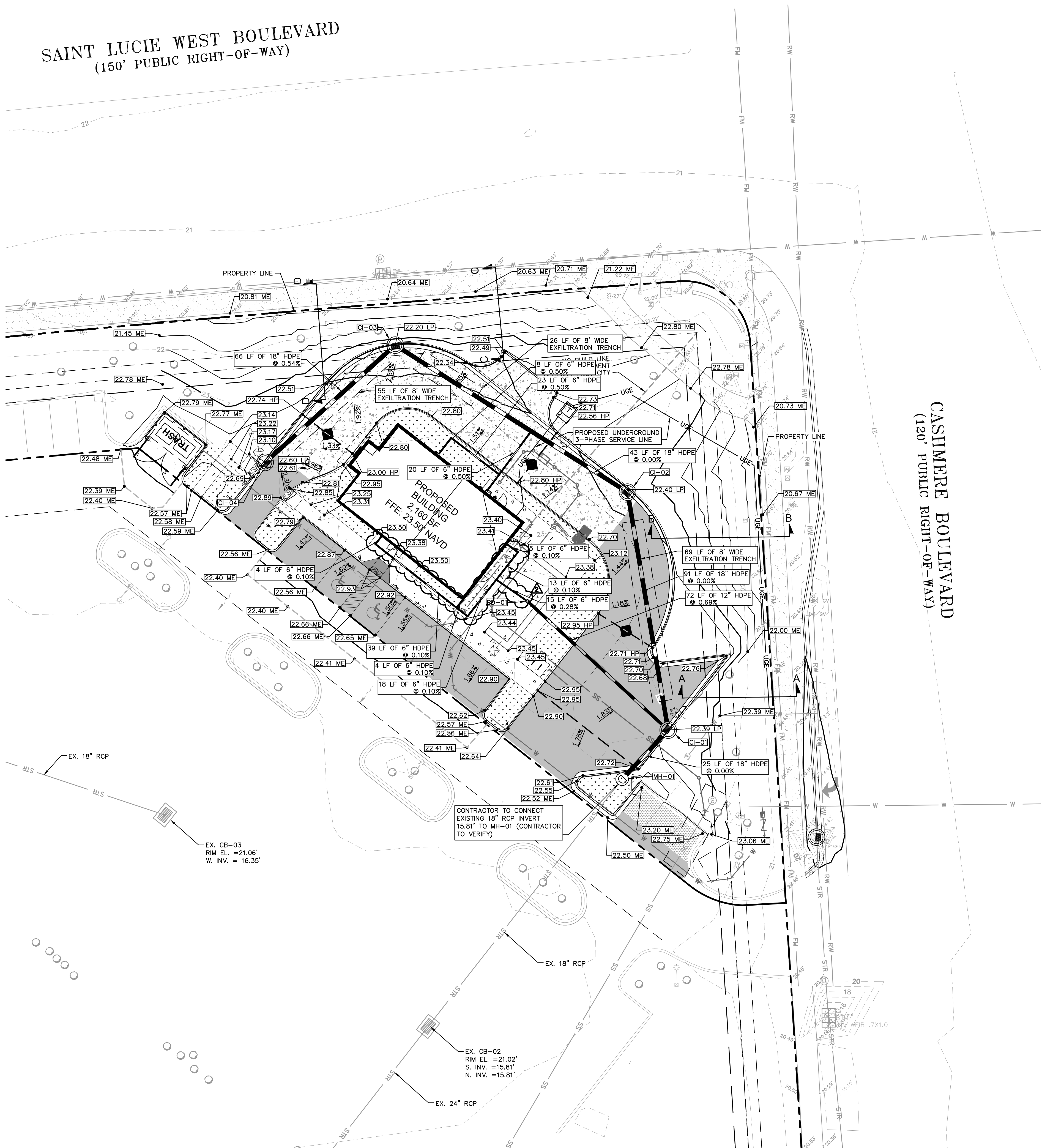
Know what's below.
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SUNSHINE STATE ONE CALL OF FLORIDA, INC.

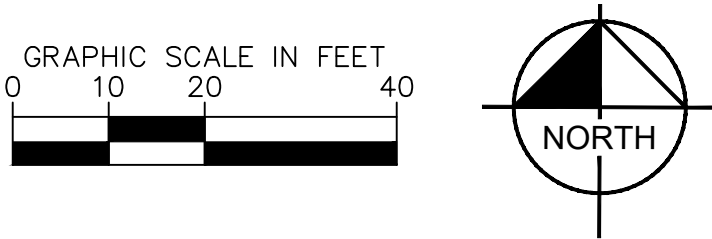


Plotted By: Lusti, Connor Sheet Set: Starbucks CASHMERE Layout: C-200 PAVING GRADING AND DRAINAGE PLAN July 14, 2025 08:46:52am K:\VRB LOEA\Respon\Florida\Cashmere_starbucks\CAD\plansheets\C-200 PAVING GRADING AND DRAINAGE PLAN.dwg
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SAINT LUCIE WEST BOULEVARD
(150' PUBLIC RIGHT-OF-WAY)



SURVEY NOTE: TREE LOCATIONS WERE NOT PROVIDED IN MOST RECENT SURVEY DATED 09/03/2024. TREE LOCATIONS DEPICTED ARE FROM A SURVEY DATED 12/08/2014.



PAVING AND GRADING NOTES

- TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- ALL MATERIALS AND CONSTRUCTION WITHIN THE FDOT RIGHT-OF-WAY SHALL CONFORM TO THE LATEST FDOT DESIGN STANDARDS AND LATEST STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE SPECIFICATIONS AND LOCAL JURISDICTIONAL AGENCY, IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
- WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW-CUT THE FULL DEPTH OF PAVEMENT FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
- WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW-CUT THE FULL DEPTH OF EXISTING PAVEMENT FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
- ELEVATIONS SHOWN AT CURB LINE ARE EDGE OF PAVEMENT UNLESS SPECIFIED OTHERWISE.
- CONTRACTOR SHALL EXCAVATE EXISTING PAVEMENT/SIDEWALK AREAS THAT ARE TO BE LANDSCAPED A MINIMUM OF 30" OR AS DEEP AS NECESSARY TO ENSURE ALL STONE BASE / PAVEMENT MATERIAL IS REMOVED (WHICHEVER IS GREATER) AND BACKFILL WITH CLEAN / DRAINING SAND TO WITHIN 4" OF TOP OF CURB TO ENSURE PROPER SOIL FOR PLANT MATERIALS.
- THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT OVER-COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
- ALL CUT OR FILL SLOPES SHALL BE 4H:1V OR FLATTER UNLESS OTHERWISE NOTED.
- ALL UN-SURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
- THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL RE-GRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
- LANDSCAPE ISLANDS IN PARKING AREA TO BE BERMED 18" ABOVE BACK OF CURB ELEVATION.
- ALL AREAS DISTURBED BY THE CONSTRUCTION OF THIS PROJECT WHICH ARE NOT OTHERWISE PAVED SHALL BE IMMEDIATELY SODDED FOLLOWING FINAL GRADING. ALLOW FOR THICKNESS OF SOD WITH A 2-INCH UNDERCUT SOD SHALL BE ARGENTINE BAHIA, AND SHALL BE REGULARLY WATERED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION DURATION.
- ELEVATIONS SHOWN HEREON ARE PURSUANT TO THE NORTH AMERICAN VERTICAL DATUM OF 1988.

SITE LEGEND

- PROPERTY LINE
- PROPOSED LANDSCAPE BUFFER
- PROPOSED BUILDING SETBACK
- PROPOSED D CURB
- PROPOSED F CURB
- STANDARD DUTY ASPHALT PAVEMENT
- HEAVY DUTY CONCRETE
- CONCRETE SIDEWALK
- MILL AND OVERLAY

GRADING LEGEND

- PROPOSED GRADE (EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED)
- T.O.C. P.V.T.
- HP HIGH POINT
- LP LOW POINT
- ME MATCH EXISTING
- GRADE BREAKLINE
- CROSS SECTIONS (REFER TO SHEET C-250)

PAVING LEGEND

- TYPE "D" CURB
- FLOW DIRECTION
- HIGH POINT / BREAK LINE
- TOS TOP OF SIDEWALK
- TOC TOP OF CURB
- MA MATCH EXISTING
- EOP EDGE OF PAVEMENT
- ONSITE SPOT GRADES
- EXISTING SPOT GRADES

DRAINAGE LEGEND

- EX DENOTES EXISTING FEATURE
- SD STORM DRAIN PIPE
- DRAINAGE STRUCTURE NUMBER
- PROPOSED STORM PIPE
- EXISTING STORM PIPE

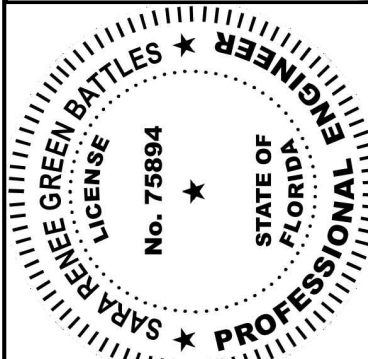
STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
CI-01	CURB INLET W/ PRB (NW) & WEIR (SW) SEE WEIR DETAILS SHEET C-250 RIM: 22.39 INV IN: 17.50 INV OUT: 17.17 INV OUT: 18.83
CI-02	CURB INLET W/ PRB (NW) & (SE) RIM: 22.38 INV IN: 17.17 INV OUT: 17.17
CI-03	CURB INLET W/ PRB (SE) & (SW) RIM: 22.20 INV IN: 17.17 INV IN: 17.17
CI-04	CURB INLET W/ PRB (NE) RIM: 22.58 INV OUT: 17.53
MH-01	STORM MANHOLE RIM: 23.25 INV IN: 18.83
PD-01	PATIO DRAIN RIM: 23.20 INV IN: 19.66 INV OUT: 18.00

VERTICAL DATUM
ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND ARE BASED ON THE FLORIDA PERMANENT REFERENCE NETWORKS (FPRN) USING GPS REAL TIME KINEMATIC (RTK) OBSERVATION WITH AN ACCURACY OF ±0.06"-0.10". SITE BENCHMARKS UTILIZED ARE SHOWN HEREON.

FLOOD ZONE
THE PROPERTY WHICH IS THE SUBJECT OF THIS SURVEY APPEARS TO BE SITUATE IN AN AREA OF MINIMAL FLOOD HAZARD (ZONE X) AT THIS TIME PURSUANT TO F.E.M.A. FIRM NUMBER 12111C0260J, HAVING AN EFFECTIVE DATE OF FEBRUARY 16, 2012. FOR APPROXIMATE DELINEATION OF THE FLOOD ZONE LIMITS, REFER TO AFOREMENTIONED FIRM PANELS.

Kimley»Horn

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PAVING GRADING
AND DRAINAGE PLAN

STARBUCKS
CASHMERE
PREPARED FOR
REGENCY

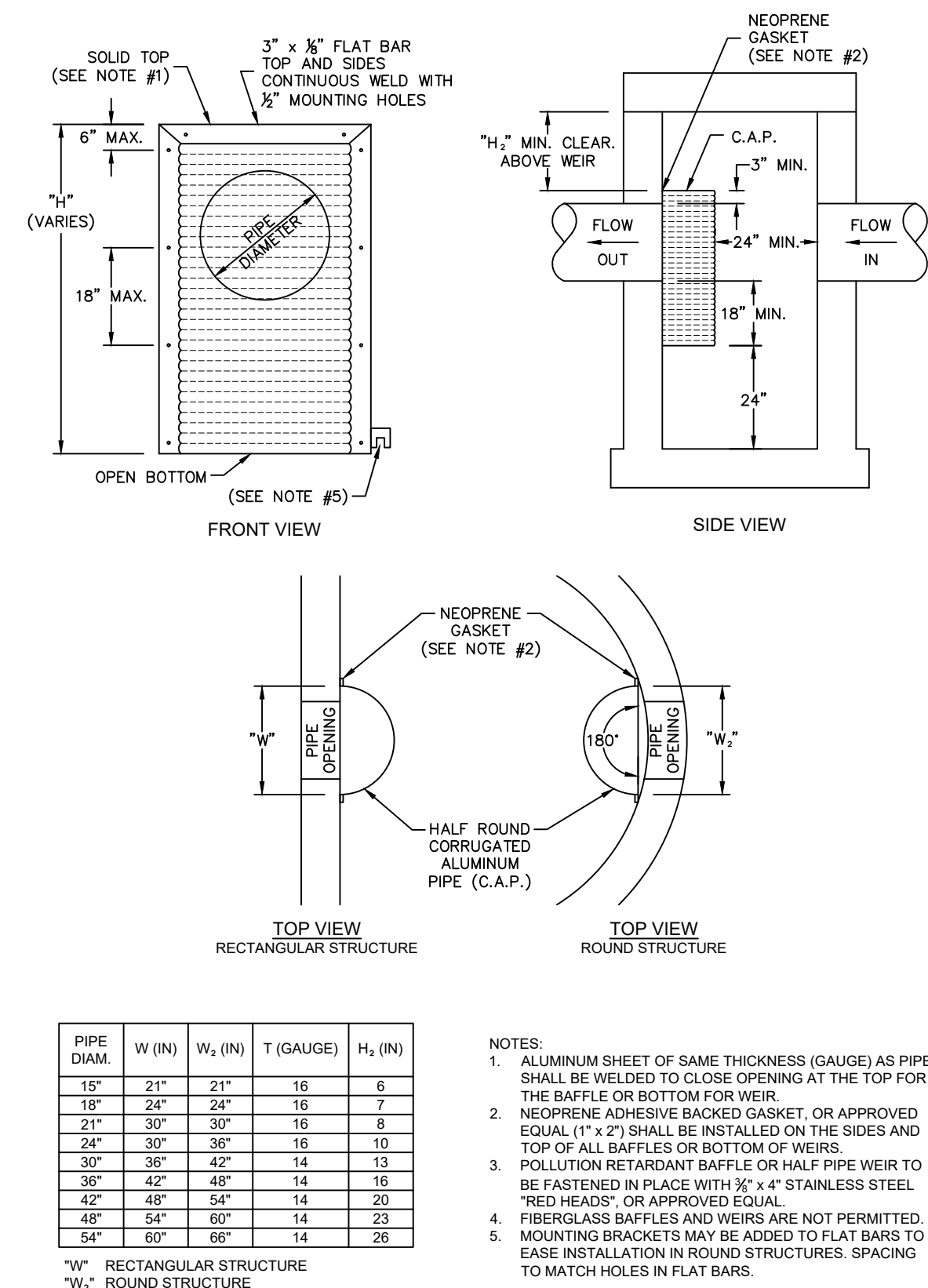
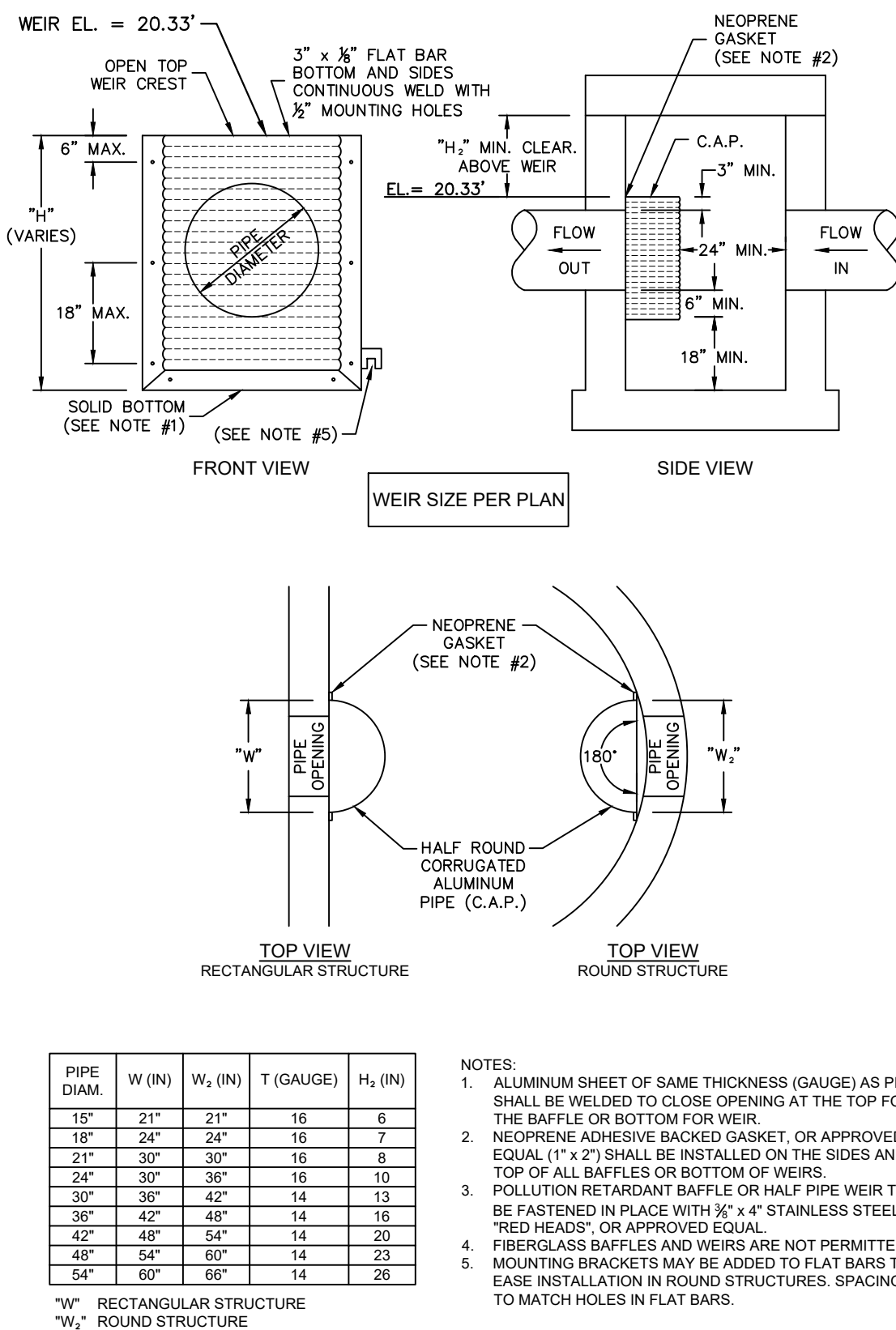
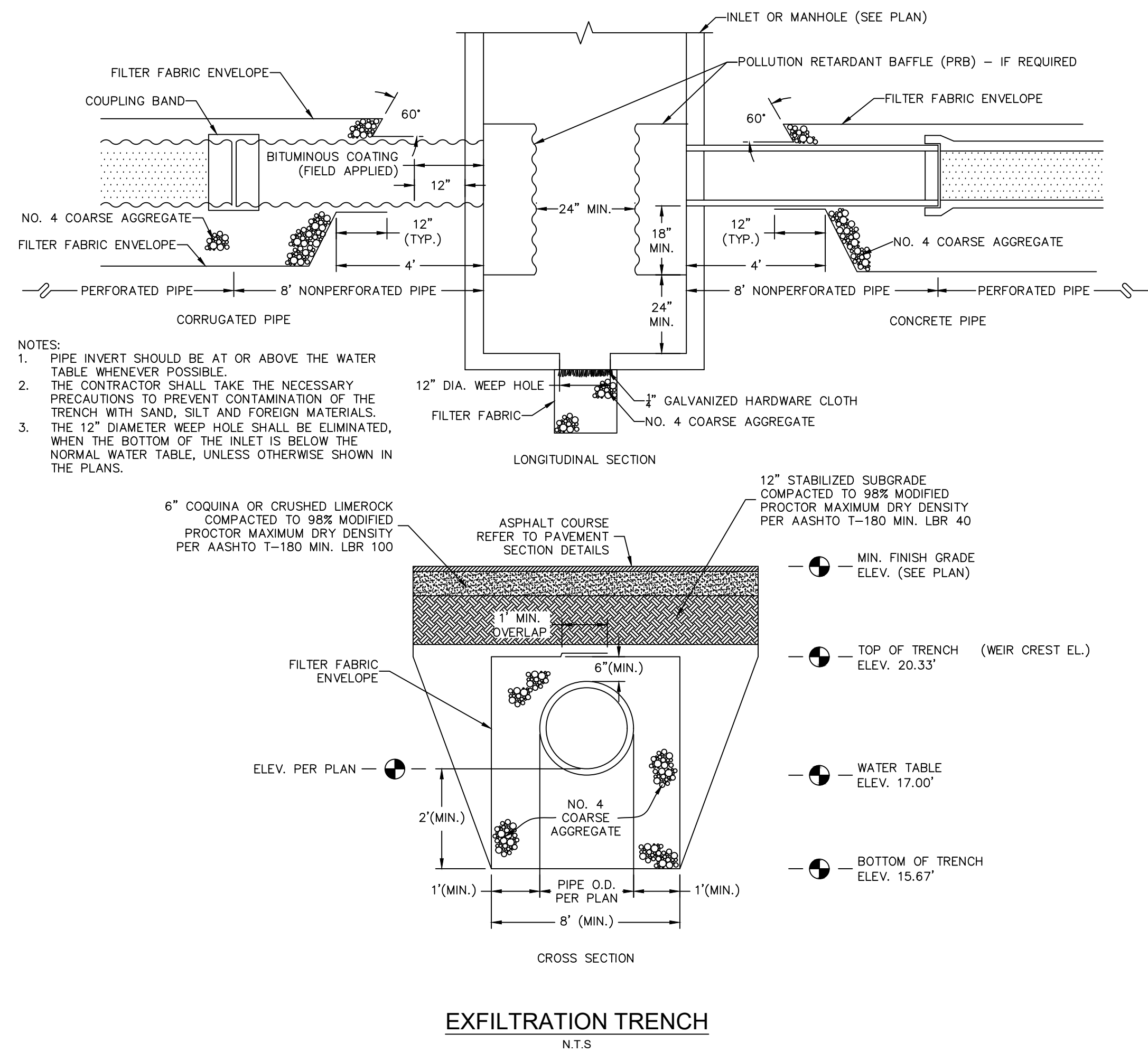
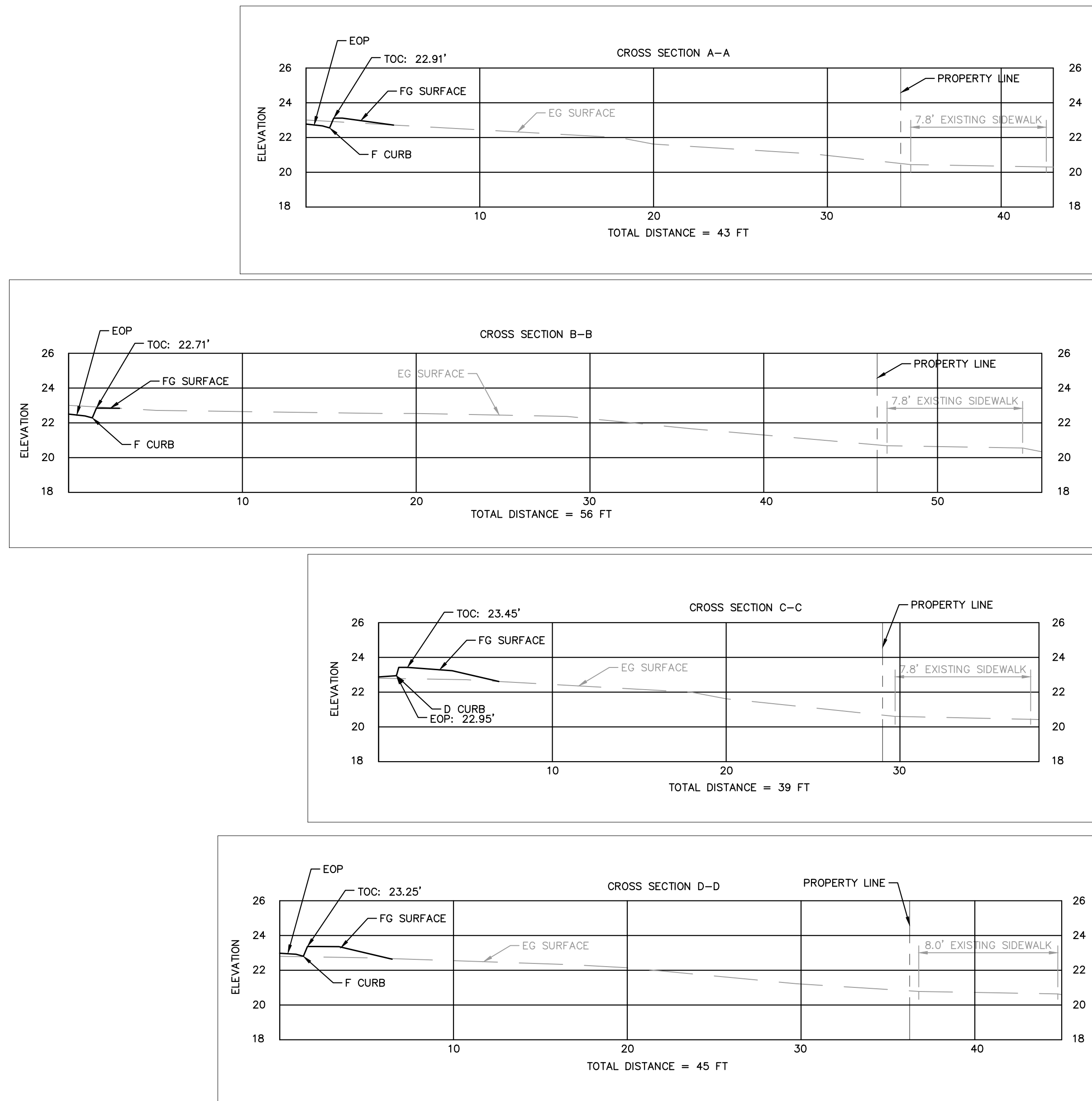
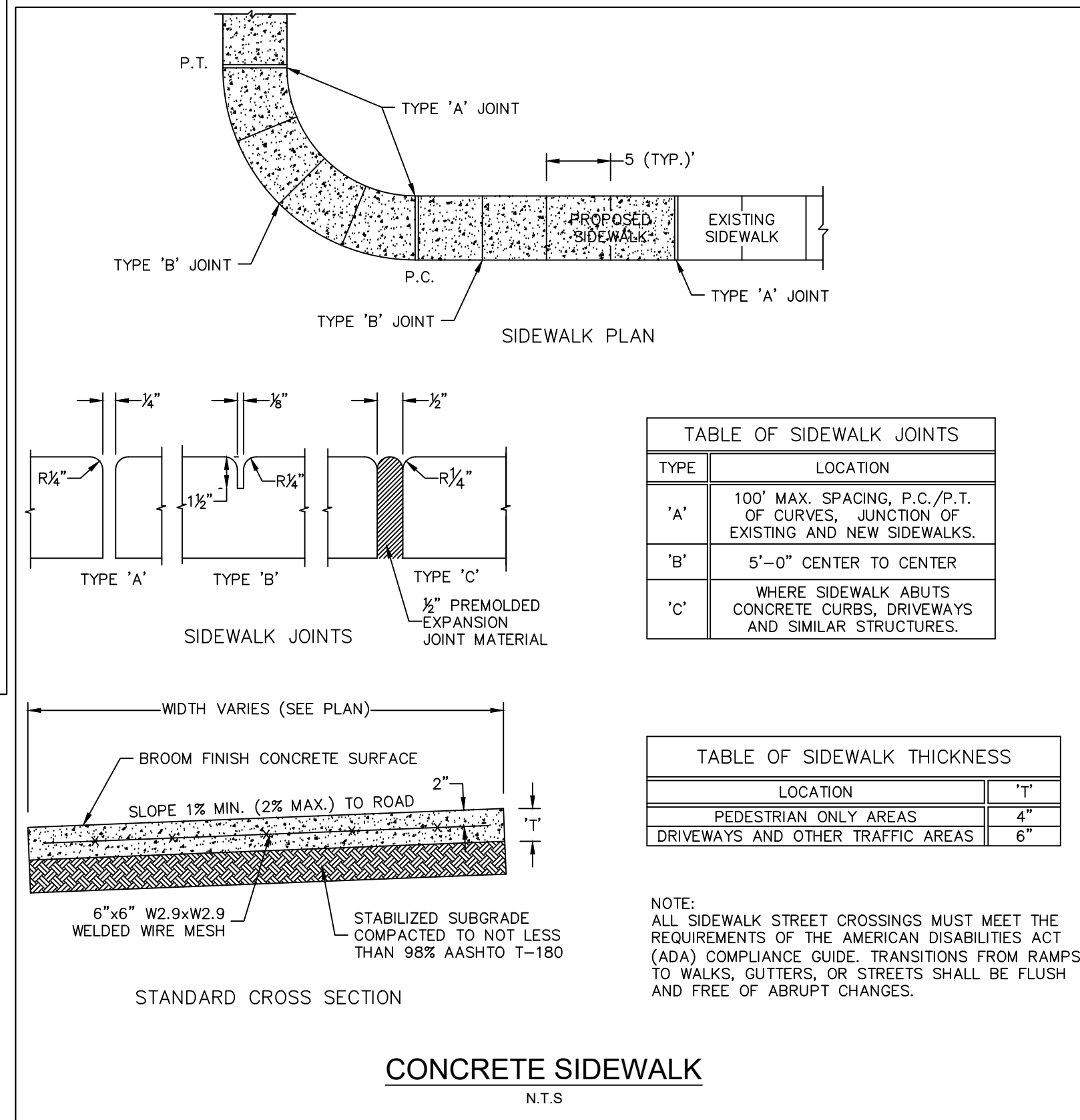
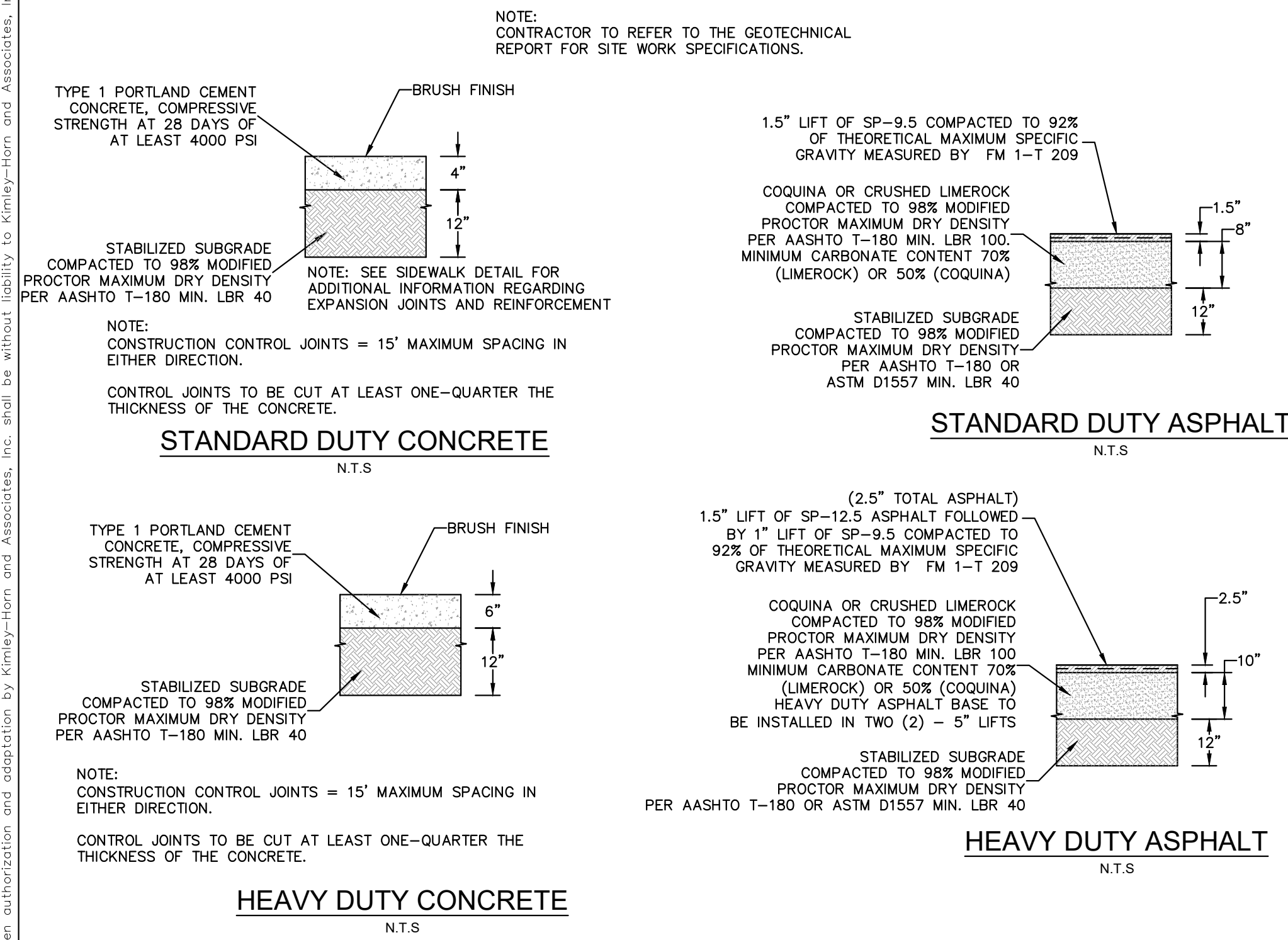
CITY OF PORT ST. LUCIE

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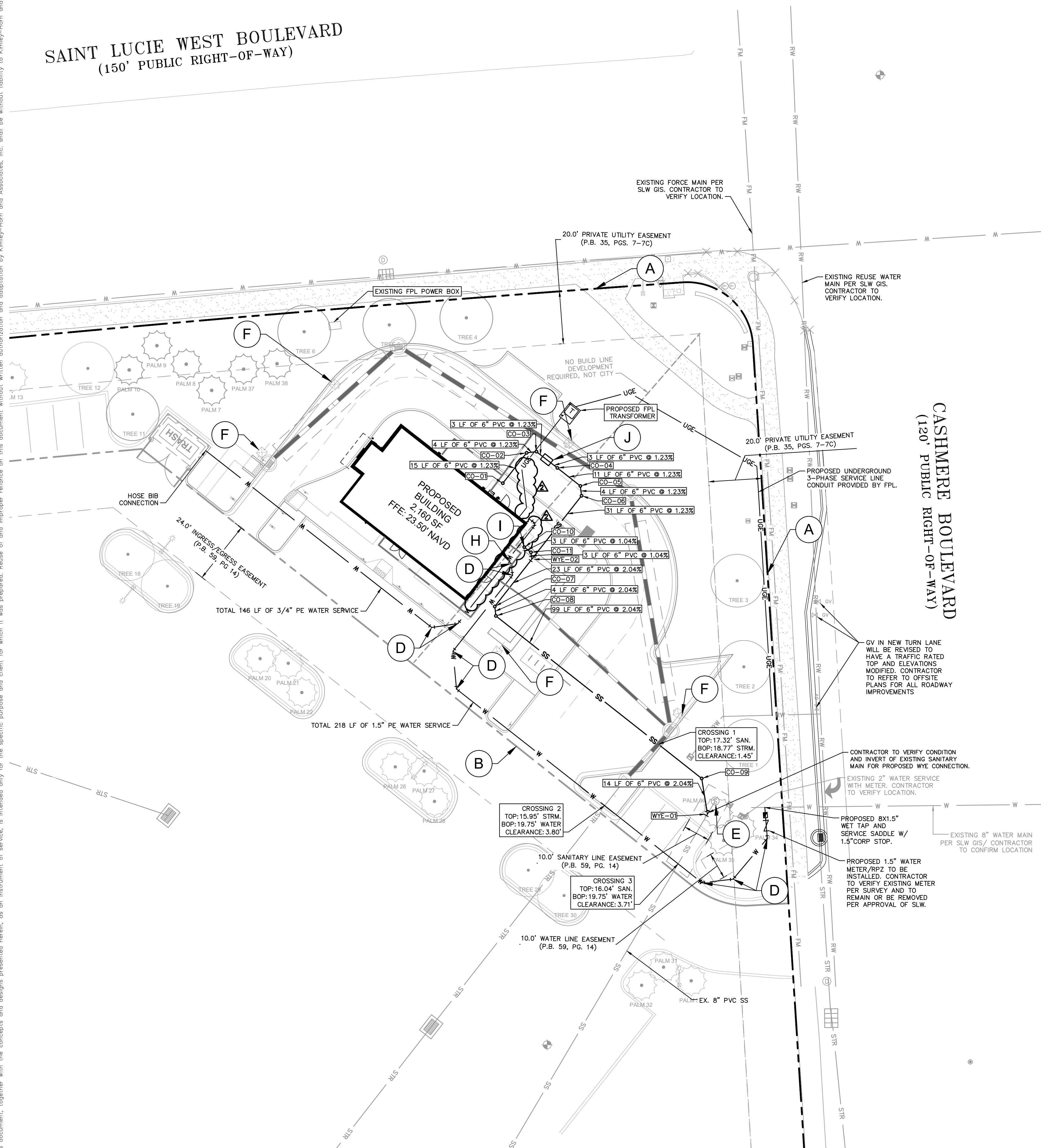
IT'S THE LAW!
DIAL 811

Know what's below.
Call before you dig.

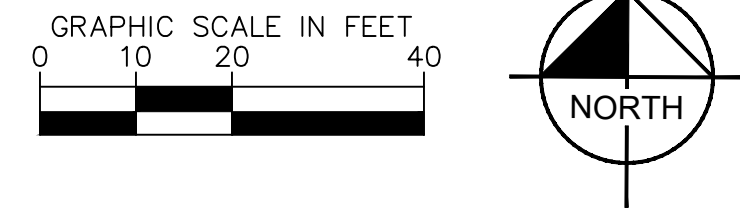
SUNSHINE STATE ONE CALL OF FLORIDA, INC.



SAINT LUCIE WEST BOULEVARD
(150' PUBLIC RIGHT-OF-WAY)











SURVEY NOTE: TREE LOCATION INFORMATION IS BASED UPON SURVEY INFO DATED 4/10/23 ALONG WITH SITE OBSERVATIONS CONDUCTED 8/23/23.



KEYNOTES:

- (A) PROPERTY LINE
- (B) ADJACENT PROPERTY LINE
- (C) PROPOSED 22.5' 2" BEND
- (D) PROPOSED 45' 2" BEND
- (E) EXISTING UTILITY STRUCTURE TO REMAIN
- (F) PROPOSED LIGHT POLE
- (G) CONTRACTOR TO INSTALL 2" TAPPING SLEEVE AND VALVE THEN METER - CONTRACTOR TO VERIFY LOCATION
- (H) POTABLE WATER CONNECTION TO BUILDING CONTRACTOR TO REFER TO ARCHITECTURAL PLANS.
- (I) SANITARY SEWER CONNECTION TO BUILDING CONTRACTOR TO REFER TO ARCHITECTURAL PLANS.
- (J) GREASE TRAP CONTRACTOR TO REFER TO SHEET C-350 UTILITY DETAILS.

LEGEND

- | | |
|-------------------------------------------------------------------------------------|-------------------------------------------------------------------|
|  | PROPERTY LINE |
|  | ADJACENT PROPERTY LINE |
|  | PROPOSED WATER LINE |
|  | EXISTING WATER MAIN PER SLW GIS. CONTRACTOR TO CONFIRM |
|  | PROPOSED SANITARY SEWER |
|  | EXISTING SANITARY SEWER |
|  | EXISTING FORCE MAIN PER SLW GIS. CONTRACTOR TO CONFIRM. |
|  | EXISTING RECLAIMED WATER LINE PER SLW GIS. CONTRACTOR TO CONFIRM. |

UTILITY NOTES:

1. ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
2. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
3. SANITARY SEWER PER SHALL BE AS FOLLOWS:
 - PP SRD26 PER ASTM D 3034.
4. GRAVITY SEWER AT DEPTHS GREATER THAN 15 FEET, THE PIPE, JOINTS AND FITTINGS SHALL MEET THE SPECIFICATION FOR PRESSURE PIPE MAINS, SRD-21 AND PRESSURE SATISFY 200 PSI PER ASTM D2241 WITH FITTING BEING THE SAME TYPE OF MATERIAL USED FOR THE PIPELINE.
5. WATER LINES SHALL BE AS FOLLOWS:
 - PP C-900 PER ASTM D2241 CLASS 150, PER ASTM D1784 AND D2241.
6. MINIMUM TRENCH WIDTH SHALL BE 2 FEET
7. ALL UTILITIES SHOULD BE KEPT TEN (10) FEET (PARALLEL) OR WHEN CROSSING IN 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
8. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3'-0" AND A MAXIMUM OF 5'-0" COVER ON ALL WATERLINES.
9. EXISTING UNDEVELOPED AREAS TO BE INSPECTED AND APPROVED BEFORE BACKFILLING.
10. TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS WITHIN PAVED AREAS, AND TO BE ABOVE FINISHED GRADE ELEVATIONS WITH WATER TIGHT LIDS WITHIN LANDSCAPED AREAS.
11. ALL CONCRETE FOR 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
12. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
13. REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
14. CONTRACTOR IS RESPONSIBLE FOR COMING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES PLUS/USD WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
15. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE PREVIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY INFORMATION FROM THE UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.
16. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
17. REFER TO BUILDING PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
18. UNDERGROUND UTILITY LINES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING WATER MAINS, FORCE MAINS, SANITARY SEWER AND STORM MAINS AND MAINTAIN MINIMUM CLEARANCES TO WATER MAINS AND STORM MAINS AT ALL POINTS ALONG THE ENTIRE LENGTH OF THE PLANS, DETAILS AND SPECIFICATIONS.
20. ALL DUPLEX RESIDENTIAL BUILDINGS TO RECEIVE FIRE SPRINKLER PER NFPA 13D. SPRINKLER SYSTEMS TO BE INSTALLED BY LICENSED FIRE SPRINKLER CONTRACTOR.
21. PER THE SURVEY PROVIDED BY ENGINEERING DESIGN & CONSTRUCTION, INC. DATED 4/07/2023.
22. ELEVATIONS SHOWN HEREIN ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83) AND ARE BASED ON PORT SAINT LUCE BENCHMARK "PLS57" WITH A ESTABLISHED ELEVATION OF 19.04'. SITE BENCHMARKS UTILIZED ARE SHOWN HEREIN.

STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
CO-01	CLEAN OUT CONNECTION RIM: 23.39 INV OUT: 20.00
CO-02	CLEAN OUT CONNECTION RIM: 22.68 INV IN: 19.82 INV OUT: 19.82
CO-03	CLEAN OUT CONNECTION RIM: 22.66 INV IN: 19.77 INV OUT: 19.77
CO-04	CLEAN OUT CONNECTION RIM: 22.63 INV IN: 19.50 INV OUT: 19.50
CO-05	CLEAN OUT CONNECTION RIM: 22.59 INV IN: 19.36 INV OUT: 19.36
CO-06	CLEAN OUT CONNECTION RIM: 22.61 INV IN: 19.32 INV OUT: 19.32
CO-07	CLEAN OUT CONNECTION RIM: 23.41 INV IN: 18.48 INV OUT: 18.48
CO-08	CLEAN OUT CONNECTION RIM: 23.40 INV IN: 18.40 INV OUT: 18.40
CO-09	CLEAN OUT CONNECTION RIM: 22.75 INV IN: 16.38 INV OUT: 16.38
CO-10	CLEAN OUT CONNECTION RIM: 23.42 INV OUT: 19.00
CO-11	CLEAN OUT CONNECTION RIM: 23.41 INV IN: 18.97 INV OUT: 18.97
WYE-01	WYE CONNECTION RIM: 22.92 INV IN: 16.10
WYE-02	WYE CONNECTION RIM: 23.37 INV IN: 18.94 INV IN: 18.94 INV OUT: 18.94

VERTICAL DATUM
ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN
VERTICAL DATUM OF 1988 (NAVD88) AND ARE BASED ON THE
FLORIDA PERMANENT REFERENCE NETWORKS (FPRN) USING GPS REAL
TIME KINEMATIC (RTK) OBSERVATION WITH AN ACCURACY OF
±0.06'–0.10'. SITE BENCHMARKS UTILIZED ARE SHOWN HEREON.

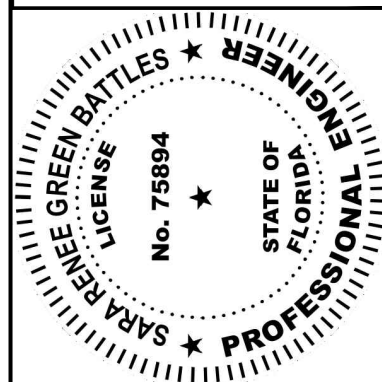
FLOOD_ZONE
THE PROPERTY WHICH IS THE SUBJECT OF THIS SURVEY APPEARS TO BE SITUATE IN AN AREA OF MINIMAL FLOOD HAZARD (ZONE X) AT THIS TIME PURSUANT TO F.E.M.A. FIRM NUMBER 12111CQ260J, HAVING AN EFFECTIVE DATE OF FEBRUARY 16, 2012. FOR APPROXIMATE DELINEATION OF THE FLOOD ZONE LIMITS, REFER TO AFOREMENTIONED FIRM PANELS.

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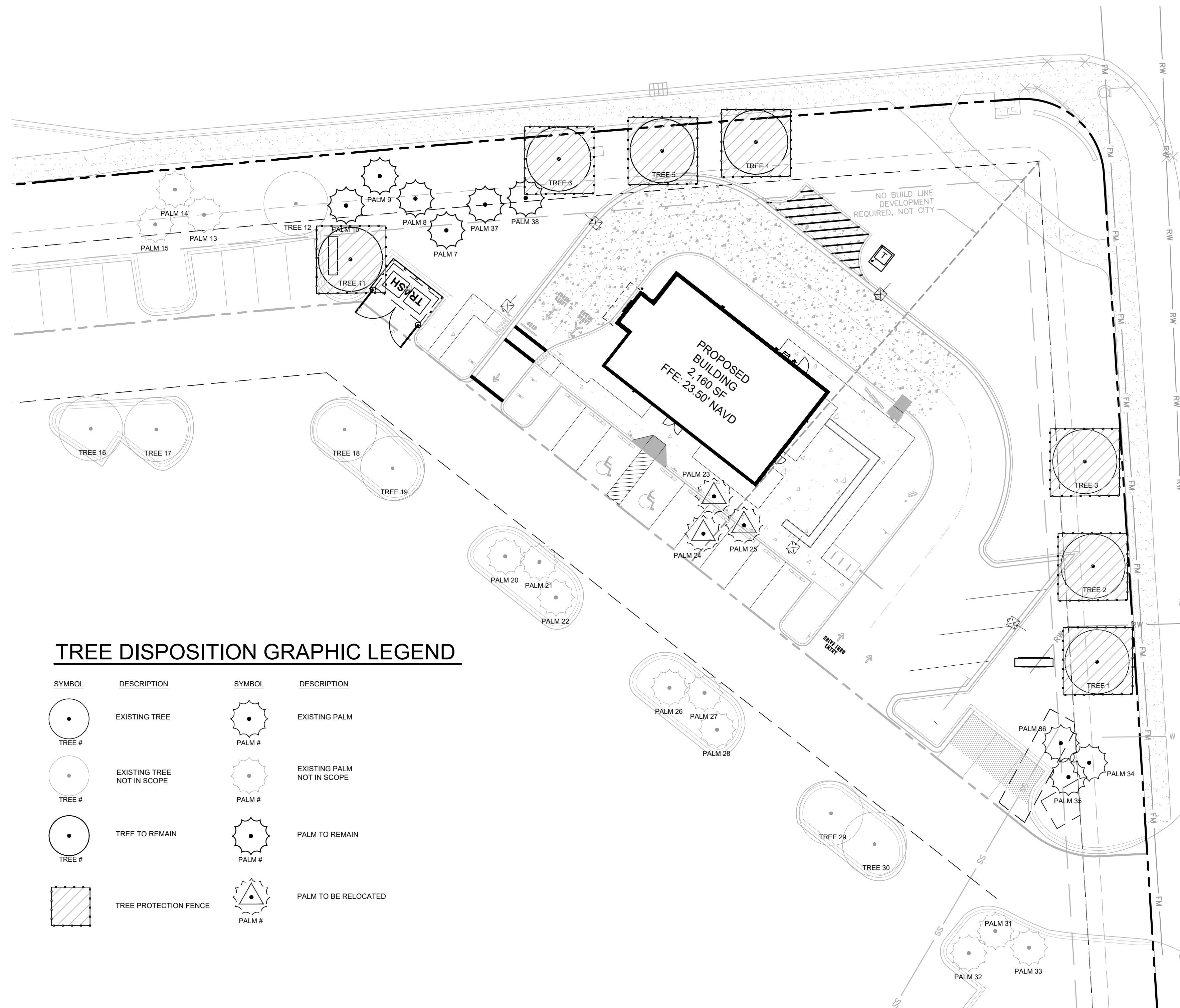
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811.
Know what's below.
Call before you dig.









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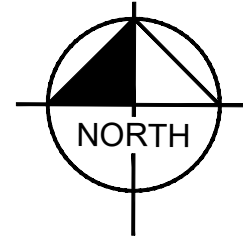
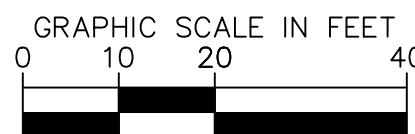


SUNSHINE STATE ONE CALL OF FLORIDA, INC.



TREE DISPOSITION GRAPHIC LEGEND

<u>SYMBOL</u>	<u>DESCRIPTION</u>	<u>SYMBOL</u>	<u>DESCRIPTION</u>
	EXISTING TREE		EXISTING PALM
TREE #		PALM #	
	EXISTING TREE NOT IN SCOPE		EXISTING PALM NOT IN SCOPE
TREE #		PALM #	
	TREE TO REMAIN		PALM TO REMAIN
TREE #		PALM #	
	TREE PROTECTION FENCE		PALM TO BE RELOCATED
		PALM #	



TREE DISPOSITION LIST

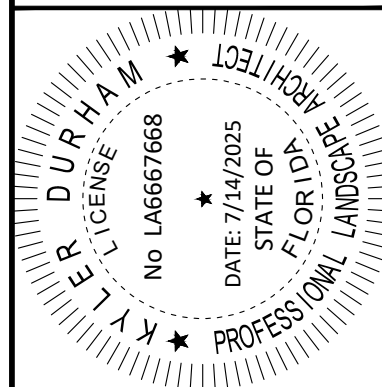
KHATREE NO.	SCIENTIFIC NAME	COMMON NAME	DBH (In.)	HEIGHT (FT.)	CANOPY (FT.)	DISPOSITION	MITIGATION(SQFT.)
1	<i>Quercus virginiana</i>	Southern Live Oak	16"	20'	25'	Remain	NA
2	<i>Quercus virginiana</i>	Southern Live Oak	14"	20'	25'	Remain	NA
3	<i>Quercus virginiana</i>	Southern Live Oak	12"	20'	25'	Remain	NA
4	<i>D</i>	Southern Live Oak	12"	20'	25'	Remain	NA
5	<i>Quercus virginiana</i>	Southern Live Oak	12"	20'	25'	Remain	NA
6	<i>Quercus virginiana</i>	Southern Live Oak	12"	20'	25'	Remain	NA
7	<i>Sabal Palmetto</i>	Sabal Palm	14"	20'	10'	Remain	NA
8	<i>Sabal Palmetto</i>	Sabal Palm	14"	20'	10'	Remain	NA
9	<i>Sabal Palmetto</i>	Sabal Palm	14"	20'	10'	Remain	NA
10	<i>Sabal Palmetto</i>	Sabal Palm	14"	20'	10'	Remain	NA
11	<i>Quercus virginiana</i>	Southern Live Oak	12"	20'	25'	Remain	NA
12	<i>Quercus virginiana</i>	Southern Live Oak	12"	20'	25'	Remain	NA
13	<i>Washingtonia robusta</i>	Mexican Fan Palm	16"	30'	10'	Remain	NA
14	<i>Washingtonia robusta</i>	Mexican Fan Palm	16"	30'	10'	Remain	NA
15	<i>Washingtonia robusta</i>	Mexican Fan Palm	16"	30'	10'	Remain	NA
16	<i>Quercus virginiana</i>	Southern Live Oak	12"	20'	25'	Remain	NA
17	<i>Quercus virginiana</i>	Southern Live Oak	12"	20'	25'	Remain	NA
18	<i>Quercus virginiana</i>	Southern Live Oak	12"	20'	25'	Remain	NA
19	<i>Quercus virginiana</i>	Southern Live Oak	12"	20'	25'	Remain	NA
20	<i>Washingtonia robusta</i>	Mexican Fan Palm	14"	30'	10'	Remain	NA
21	<i>Washingtonia robusta</i>	Mexican Fan Palm	14"	30'	10'	Remain	NA
22	<i>Washingtonia robusta</i>	Mexican Fan Palm	14"	30'	10'	Remain	NA
23	<i>Washingtonia robusta</i>	Mexican Fan Palm	16"	30'	10'	Relocate	NA
24	<i>Washingtonia robusta</i>	Mexican Fan Palm	16"	30'	10'	Relocate	NA
25	<i>Washingtonia robusta</i>	Mexican Fan Palm	16"	30'	10'	Relocate	NA
26	<i>Washingtonia robusta</i>	Mexican Fan Palm	14"	30'	10'	Remain	NA
27	<i>Washingtonia robusta</i>	Mexican Fan Palm	14"	30'	10'	Remain	NA
28	<i>Washingtonia robusta</i>	Mexican Fan Palm	14"	30'	10'	Remain	NA
29	<i>Quercus virginiana</i>	Southern Live Oak	12"	20'	25'	Remain	NA
30	<i>Quercus virginiana</i>	Southern Live Oak	12"	20'	25'	Remain	NA
31	<i>Washingtonia robusta</i>	Mexican Fan Palm	16"	30'	10'	Remain	NA
32	<i>Washingtonia robusta</i>	Mexican Fan Palm	16"	30'	10'	Remain	NA
33	<i>Washingtonia robusta</i>	Mexican Fan Palm	16"	30'	10'	Remain	NA
34	<i>Washingtonia robusta</i>	Mexican Fan Palm	16"	30'	10'	Remain	NA
35	<i>Washingtonia robusta</i>	Mexican Fan Palm	16"	30'	10'	Remain	NA
36	<i>Washingtonia robusta</i>	Mexican Fan Palm	16"	30'	10'	Remain	NA
37	<i>Wodyetia bifurcata</i>	Foxtail Palm	12"	10'	8'	Remain	NA
38	<i>Wodyetia bifurcata</i>	Foxtail Palm	12"	10'	8'	Remain	NA

Species, height, DBH and canopy to be confirmed by ISA Certified Arborist

N.I.S. = Not in Scope

TREE DISPOSITION INFORMATION IS BASED UPON
SURVEY INFO DATED 4/10/23 ALONG WITH SITE
OBSERVATIONS CONDUCTED 8/23/23

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KHA PROJECT 047427053	DATE 05/08/2025	SCALE AS SHOWN	DESIGNED BY JCO	DRAWN BY JCO	CHECKED BY BVA
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TREE DISPOSITION

**STARBUCKS
CASHMERE
PREPARED FOR
REGENCY**

PSL PROJ #:
P24-148

SHEET NUMBER
L-100

CITY OF PORT ST. LUCIE
FLORIDA

REVISIONS

NO	REVISIONS	DATE	BY
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SUNSHINE STATE ONE CALL OF FLORIDA, INC.

Plotted By: Just, Connor Sheet Set: STARBUCKS CASHMERE Layout: TREE DISPOSITION NOTES July 14, 2025 08:50:15am K:\VRB_LDEA\Reps\CA\Starbucks\Cashmere Starbucks\CAD\plansheets\L-101 TREE DISPOSITION NOTES.dwg
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TREE REMOVAL AND TREE TO REMAIN PRUNING SPECIFICATIONS

PART 1 - DEFINITIONS

- A. Natural Resource - Existing trees or palms.
- B. Critical Root Zone - The minimum volume of roots necessary to have for tree health and stability.
- C. DBH - Diameter Breast High - Indicates the location on the trunk, approximately 4.5' above ground, to measure the diameter of a tree.
- D. Preserved Trees - Trees that are to be saved/remain in place.
- E. Owner's Representative - A representative, hired and paid for by the owner, that supervises the construction of the procedures shown on the tree disposition plans.
- F. Tree Protection Zone (TPZ) - The area surrounding a tree defined by a specified distance, which excavation and other construction related activities should be avoided. The TPZ is variable depending on species, factors, age and health of the plant, soil conditions, and proposed construction.
- G. Contractor's Certified Arborist - an independent ISA Certified Arborist, hired and paid for by the contractor, that supervises the construction of the procedures shown on the tree disposition plans.

PART 2 - TREE BARRIER

- A. Tree Protector Barrier Material.
 - 1. Six (6) foot tall wire mesh construction fence supported by eight (8) foot tall metal T-Bar Posts and Post Caps.
 - 2. The tree protector barrier shall have a two (2) foot by two (2) foot "tree protection zone" sign affixed to the fence every twenty (20) feet placed in such a manner to be clearly visible to the construction workers. The sign must be made up of weather resistant material.
 - 3. The eight (8) foot tall metal T-Bar Post and Post Cap shall be placed a maximum of six (6) foot intervals.

PART 3 - EXECUTION

- A. If hazards are determined by qualified certified arborist in an individual tree then those hazards can be mitigated according to the specifications given by the Qualified Certified Arborist.
 - 1. The tree disposition list. This item is to be coordinated by the Qualified Certified Arborist with the Owner's Representative.
 - 2. All pruning shall be done in accordance with ANSI A300 (Part 1) Pruning and best management practices.
 - 3. The Contractor's Certified Arborist shall be present during all pruning operations.
- B. Root Pruning - Refer to Arborist Report
 - 1. Trenching locations shall be approved in the field by the Owner's Representative and the Contractor's Certified Arborist.
 - 2. All roots shall be cut by hand.
 - 3. The trench shall be backfilled minus debris and large rocks, as directed by the Contractor's Certified Arborist.
 - 4. Phased root pruning timeframes vary by species. Contractor's certified arborist shall direct pruning schedule.
- C. Tree Protector Barrier
 - 1. See detail in this sheet.
 - 2. Tree Protector Barrier shall be placed by the Contractor around each tree to remain as directed by the Contractor's Certified Arborist.
- D. Tree Removals
 - 1. Contractor shall remove and discard all trees shown as "Remove" on the Tree Disposition Plan and the Tree Disposition List. Tree stump shall be ground below grade. Care shall be taken to not damage the existing trees marked to remain and their critical root zones shall not be compacted by equipment.
 - 2. If Tree Protector Barrier is damaged, repair shall be performed immediately.
 - 3. Contractor shall remove and haul away from the job site all wood generated from tree removals, including stumps, the same day the removal happens.
 - 4. Burn pits are not allowed.

PART 4 - PENALTIES

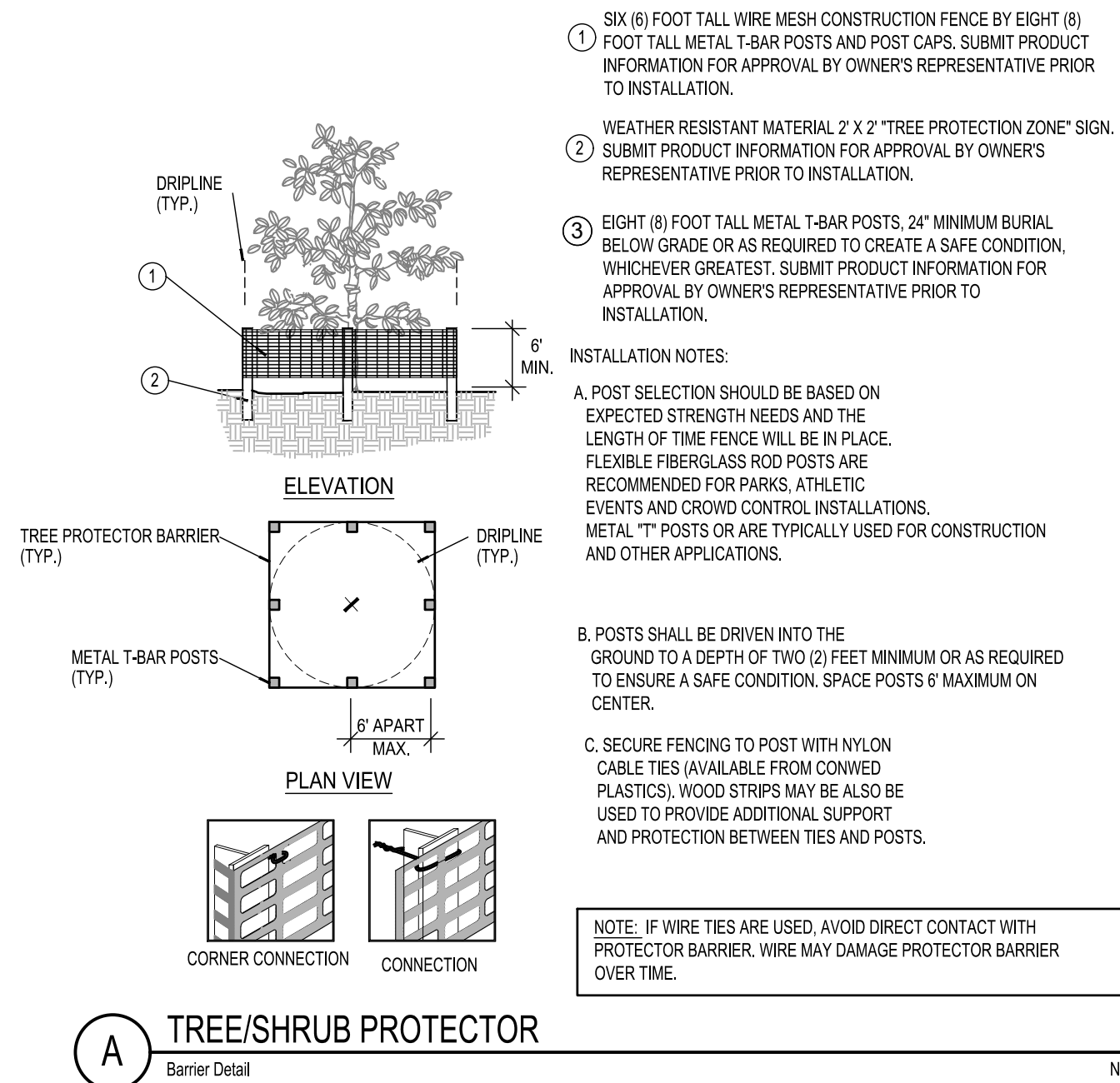
- A. Repair of Damaged Trees To Remain
 - 1. If any damage to trees to remain or other natural resources should occur by accident or negligence during the construction period, shall be immediately inspected by Qualified Certified Arborist who shall determine the prescription of care at the Contractor's expense.

PART 5 - TREE PROTECTION

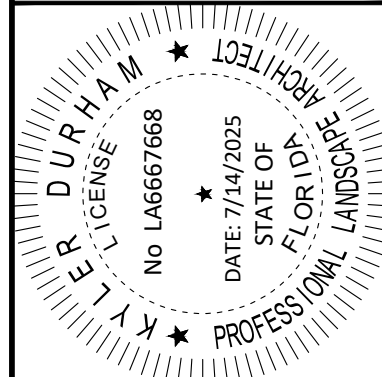
- A. Contractor's Certified Arborist to determine the location of the Tree Protector Barrier around each tree to remain based on his/her analysis of each existing tree to remain that is adjacent to construction improvements such as utility installation, pavement addition and/or restoration, etc.
- B. Contractor shall maintain and repair the Tree Protector Barrier during site construction operations.
- C. Contractor's access to the fenced tree protection areas will be permitted only with approval of Owner's Representative and Contractor's Certified Arborist's written directive.
- D. There shall no be change in grade within the critical root zone as per ANSI Standards.
- E. Contractor shall clear by hand all vegetation to grade within the critical root zones of trees to remain.
- F. Contractor shall not install conduit, sprinklers, or any utility line in any critical root zone areas without the approval of the Contractor's Certified Arborist and Owner's Representative.

PART 6 - IRRIGATION

- A. Contractor shall irrigate trees as specified by Landscape Architect and Qualified Certified Arborist.
- B. On a monthly basis an irrigation audit shall be conducted by an irrigation specialist for review by Landscape Architect or Qualified Certified Arborist.



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TREE DISPOSITION NOTES

STARBUCKS
CASHMERE
PREPARED FOR
REGENCY

PSL PROJ #:
P24-148

SHEET NUMBER
L-101

CITY OF PORT ST. LUCIE FLORIDA

Kimley»Horn

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445 24TH STREET, SUITE 200, VERO BEACH, FL 32960
PHONE: 772-794-4100
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

REVISIONS

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BY

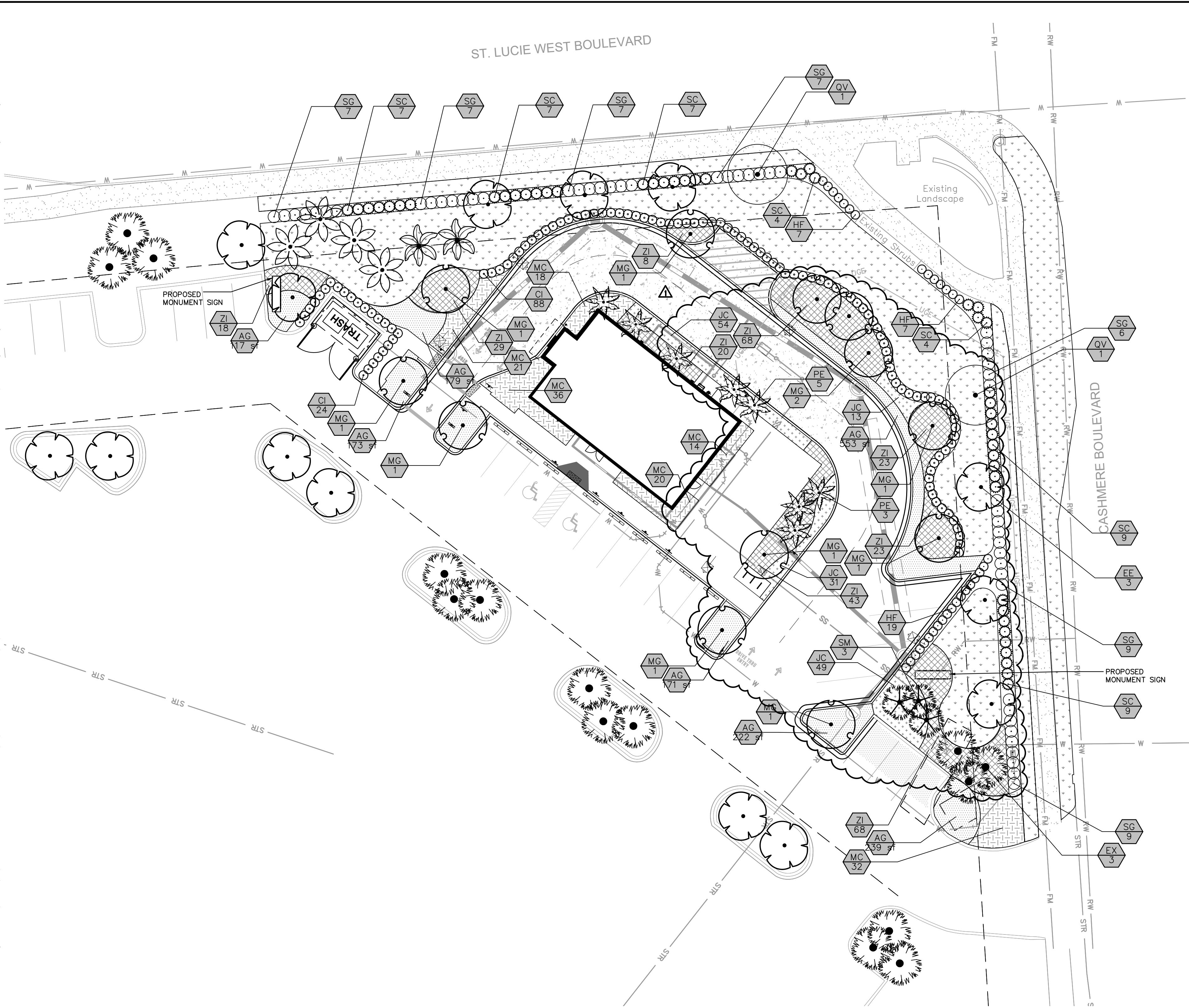
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SUNSHINE STATE ONE CALL OF FLORIDA, INC.



LANDSCAPE CODE REQUIREMENTS

LANDSCAPE CODE REQUIRES MINIMUM OF 50% OF PLANTING MATERIALS TO BE DROUGHT TOLERANT.
 TOTAL TREES: 60
 TOTAL SHRUBS: 821
 TOTAL TREES AND SHRUBS: 881
 TOTAL DROUGHT TOLERANT SHRUBS AND TREES: 743
 $743 / 881 = 84\%$ DROUGHT TOLERANT

PROPOSED GROUND COVER IS 100% DROUGHT TOLERANT

LANDSCAPE CODE REQUIRES MINIMUM OF 50% OF TREES TO BE NATIVE SPECIES.
TOTAL EXISTING TREES ON SITE: 38
TOTAL PROPOSED TREES: 22
TOTAL TREES: 60

TOTAL NATIVE TREES: 31
31 / 60 = 52% OF TREES ARE NATIVE.

LANDSCAPE CODE REQUIRES MINIMUM OF 20% OF TREES TO BE FLOWERING SPECIES.
TOTAL TREES: 60
TOTAL FLOWERING TREES: 12
 $12 / 60 = 20\%$ OF TREES ARE FLOWERING.

LANDSCAPE CODE REQUIRES SITES WITH OVER 41+ TREES TO HAVE 5 DIFFERENT SPECIES.
PROPOSED LANDSCAPE PLAN HAS 6 SPECIES OF TREES AND PALMS.

LANDSCAPE CODE REQUIRES NO MORE THAN 25% OF REQUIRES TREES TO BE PALMS.
 TOTAL TREES: 60
 TOTAL EXISTING PALMS ON SITE: 24
 TOTAL PROPOSED NEW PALMS: 8*
 *THE 8 PALMS REQUIRED FOR THE BUILDING FACADE LANDSCAPE STRIP ARE EXEMPT
 FROM THIS REQUIREMENT AND NOT INCLUDED IN THE CALCULATION. NO NEW PALMS
 ARE PROPOSED FOR THE SITE, ONLY EXISTING PALMS WILL REMAIN.
 $24 / 60 = 40\%$ OF EXISTING TREES ON SITE ARE PALMS.

LANDSCAPE CODE REQUIRES MINIMUM OF 25% OF SHRUBS TO BE NATIVE SPECIES.
 TOTAL PROPOSED SHRUBS: 831
 TOTAL NATIVE SHRUBS: 649
 $649 / 831 = 78\%$ OF SHRUBS ARE NATIVE.

LANDSCAPE CODE REQUIRES SOD TO BE LIMITED TO BE LESS THAN 50% OF OF SITE.
TOTAL SITE SQUARE FOOTAGE: 17,631
TOTAL SOD AREA: 8,235 SF (47% OF SITE)
TOTAL LANDSCAPE AREA: 9,396 SF (53% OF SITE)

LANDSCAPE CODE REQUIRES BUILDING FACADE REQUIREMENTS (206 LF - 20 LF OF ENTRY WAYS AND DRIVE THRU)= 186 LF.

LANDSCAPE STRIP

REQUIRED: 5' WIDE STRIP

PROVIDED: 5' WIDE STRIP

1 TREE OR PALM PER 30 LF OF BUILDING PERIMETER:

REQUIRED: $186 / 30 = 7$ TREE OR PALMS

PROVIDED: 8 PALMS & 1 TREE





1 SHRUB PER 2 LF OF BUILDING PERIMETER

REQUIRED: $186 / 2 = 93$ SHRUBS



PROVIDED: 145 SHRUBS



PLANT SCHEDULE

<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>COMMON NAME</u>	<u>BOTANICAL NAME</u>	<u>CONTAINER</u>	<u>CAL</u>	<u>HT</u>	<u>NATIVE</u>	<u>WATER USE</u>
TREES									
	EE2	2	EXISTING TO REMAIN	EXISTING FOXTAIL PALM	F.G.			NO	LOW
	EX	15	EXISTING TO REMAIN	EXISTING MEXICAN FAN PALM	F.G.			NO	MODERATE
	EE3	4	EXISTING TO REMAIN	EXISTING SABAL PALM	F.G.			YES	LOW
	EE	14	EXISTING TO REMAIN	EXISTING SOUTHERN LIVE OAK	F.G.			YES	LOW
	MG	12	SOUTHERN MAGNOLIA	MAGNOLIA GRANDIFLORA	F.G.	2.5" CAL MIN.	12' HT MIN	YES	MODERATE
	PE	8	ALEXANDER PALM	PTYCHOSPERMA ELEGANS	F.G.		12' HT MIN	NO	LOW
	QV	2	SOUTHERN LIVE OAK	QUERCUS VIRGINIANA	F.G.	3" CAL.	12' HT MIN	YES	LOW
	SM	3	MEXICAN FAN PALM	SABAL MEXICANA (RELOCATED)	F.G.			NO	MODERATE

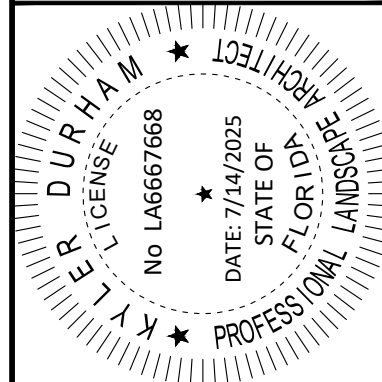
<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>COMMON NAME</u>	<u>BOTANICAL NAME</u>	<u>CONT.</u>	<u>SPACING</u>	<u>SIZE</u>	<u>NATIVE</u>	<u>WATER USE</u>
<u>SHRUBS</u>									
	CI	112	COCO PLUM	CHRYSOBALANUS ICACO	CONT.	36" O.C.	6' HT MIN	YES	MODERATE
	HF	33	FIREBUSH	HAMELIA PATENS	CONT.	36" O.C.	24" HT. MIN	YES	MODERATE
	SC	49	SILVER SAW PALMETTO	SERENOA REPENS 'CINEREA'	CONT.	36" O.C.	24" HT. MIN	YES	LOW
	SG	52	GREEN SAW PALMETTO	SERENOA REPENS 'GREEN'	CONT.	36" O.C.	24" HT. MIN	YES	LOW

SHRUB AREAS

	JC	147	SHORE JUNIPER	JUNIPERUS CONFERTA	CONT.	30" O.C.	12" HT.	NO	LOW
	MC	141	PINK MUHLY GRASS	MUHLENBERGIA CAPILLARIS	CONT.	36" OC	24" HT.	YES	LOW
	ZI	304	COONTIE	ZAMIA INTEGRIFOLIA	CONT.	36" OC	24" HT.	YES	LOW

<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>COMMON NAME</u>	<u>BOTANICAL NAME</u>	<u>CONT</u>	<u>O.C.</u>	<u>SIZE</u>	<u>NATIVE</u>	<u>WATER USE</u>
<u>GROUND COVERS</u>									
	AG	1,809 SF	PERENNIAL PEANUT	ARACHIS GLABRATA	SOD	SOD	SOD	NO	LOW
	PN	8,228 SF	BAHIAGRASS	PASPALUM NOTATUM	SOD				

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LANDSCAPE PLAN

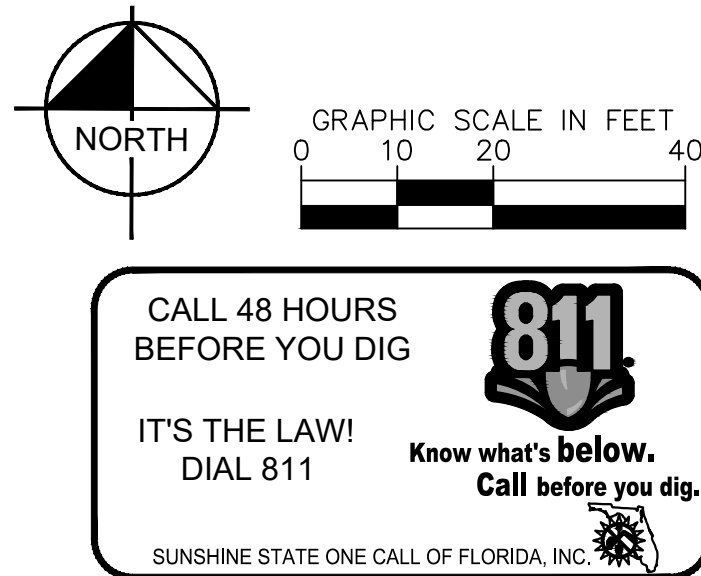
STARBUCKS
CASHMERE
PREPARED FOR
REGENCY

PSL PROJ #:
P24-148

SHEET NUMBER
L-200

CITY OF PORT ST. LUCIE
FLORIDA

No.	REVISIONS	DATE	BY
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Plotted By: Just, Connor Sheet Set: STARBUCKS CASHMERE Layout: LANDSCAPE NOTES July 14, 2025 08:51:33am K:\VRB_LDEV\Regency\Florida\Cashmere_starbucks\CAD\plantings\1-202 LANDSCAPE NOTES.dwg This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and approval by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

A. SCOPE OF WORK

1. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.
2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.

B. PROTECTION OF EXISTING STRUCTURES

ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.

C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELTERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED WHERE HEAT WILL DAMAGE ANY PLANT. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE UNSAVEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

D. MATERIALS

MATERIALS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL. UPON SUBMITTALS' APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SUBMITTAL
MULCH	PRODUCT DATA
TOPSOIL MIX	AMENDMENT MIX/ PRODUCT DATA/ TEST RESULTS
PLANTS	PHOTOGRAPHS OF ONE (1) OF EACH SPECIES (OR TAGGED IN NURSERY)
	INDICATE SIZES (HEIGHT/WIDTH) AND QUALITY PER SPEC.
	CLIENT-REQUESTED TAGGING MAY SUBSTITUTE PHOTOS.

FERTILIZER	PRODUCT DATA
INNOCULANT	PRODUCT DATA
HERBICIDE	PRODUCT DATA

2. PLANT MATERIALS

A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE OWNER'S REPRESENTATIVE

B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.

C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY; SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

E. SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, MIX)

1. SOIL MIXTURE SHALL CONSIST OF 70% COARSE SAND, 30% FLORIDA PEAT AS DESCRIBED BELOW.
2. SOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING SHALL BE FERTILE, FRIABLE, AND REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEED AND OTHER LITTER, FREE OF ROOTS, STUMPS, STONE LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL HAVE A PH BETWEEN 5.5 AND 7.0. - SUBMIT SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
3. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE OR TONKA MINED SAND. CONTRACTOR SHALL SUBMIT RESULTS OF SOIL TEST FOR PEAT AND SAND PROPOSED FOR USE UNDER THIS CONTRACT FOR APPROVAL.
4. CONTRACTOR SHALL SUBMIT SAMPLES OF SOIL MIXTURE FOR LANDSCAPE ARCHITECT REVIEW UNDER FORMAL SUBMITTAL AND SUBSEQUENTLY TO OWNER'S REPRESENTATIVE THEREAFTER FOR APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
5. FLORIDA MUCK / FLORIDA MUCKY PEAT MAY BE PROVIDED AS A SUBSTITUTE FOR THE 30% FLORIDA PEAT, CONTINGENT UPON PRELIMINARY TEST RESULTS AND AS DETERMINED BY THE LANDSCAPE ARCHITECT DURING THE SUBMITTAL PROCESS. ANY CHANGES IN THE PERCENTAGES OR PARENT MATERIALS REQUIRED TO PROVIDE THE SPECIFIED MIXTURE AS DETERMINED BY THE LANDSCAPE ARCHITECT SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
6. CONTRACTOR SHALL PROVIDE PH TEST RESULTS FOR ALL MIX COMPONENTS AND FINAL MIX.
7. CONTRACTOR SHALL PROVIDE PENETROMETER ON-SITE AT ALL TIMES FOR COMPACTION INSPECTION AT THE DISCRETION OF THE LANDSCAPE ARCHITECT.
8. PENETROMETER CRITERIA / SPECIFICATIONS SHALL RANGE FROM APPROX. 75 PSI TO LESS THAN 300 PSI OR AS DETERMINED BY THE LANDSCAPE ARCHITECT.
9. FINAL MIX SHALL BE TESTED TO HAVE A SATURATED WEIGHT OF NO MORE THAN 85 POUNDS PER CUBIC FOOT WHEN COMPACTED TO 85% STANDARD PROCTOR. FERTILIZER PRODUCT DATA AND RATE SCHEDULE SHALL BE SUBMITTED CONCURRENTLY WITH THE SOIL SUBMITTAL FOR EVALUATION BY THE LANDSCAPE ARCHITECT.
10. SOIL SHALL BE SUPPLIED BY ATLAS PEAT & SOIL, INC. 9621 STATE ROAD, BOYNTON BEACH, FLORIDA 33472 PHONE: 861-734-7300.

*WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER. IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.

*FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

H. ROCK MULCH

ROCK MULCH MATERIAL SHALL BE TWO (2) TO THREE (3) INCHES DIAMETER CHATTAHOOCHEE ROCK (OR APPROVED EQUAL) AT A MINIMUM DEPTH OF THREE (3) INCHES IN ALL LANDSCAPE SHRUB AND GROUND COVER AREAS. THE ROCK MULCH SHALL CONFIN TO THE LANDSCAPE BED LINES ESTABLISHED BY ADJACENT SOD AREAS, HARDSCAPE AREAS, AND CURBS. CLEAR MULCH FROM EACH PLANT'S CROWN (BASE).

I. DIGGING AND HANDLING

1. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILT-PRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
2. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.
3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS, COMPLYING WITH FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS, CURRENT EDITION. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT DURING TRANSPORTATION AND PRIOR TO PLANTING.
4. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED PER PALM PLANTING DETAIL.
5. EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.

J. CONTAINER GROWN STOCK

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION, FLORIDA #1 OR BETTER.
2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
3. PLANT ROOTS BOUND IN CONTAINERS ARE NOT ACCEPTABLE.
4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED WITHOUT WRITTEN APPROVAL IS OBTAINED FROM THE OWNER OR OWNER'S REPRESENTATIVE.

K. COLLECTED STOCK

WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED BY THE OWNER OR OWNER'S REPRESENTATIVE, THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

L. NATIVE STOCK

PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY RE-ESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

M. MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

N. FINE GRADING

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED.
2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.
3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES.
- O. PLANTING PROCEDURES
1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL NATIONAL ONE CALL - 811 - TO LOCATE UTILITIES.

3. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 3". CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 3" DEEP EXCAVATION BY THE CONTRACTOR, AND ADEQUATE PERCOLATION CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE PLANTING DETAIL THAT ADDRESSES POOR DRAINAGE.

4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.

5. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES, METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.

6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.

7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER PERCOLATION. IF POOR PERCOLATION EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN. PROPER "SETTING" BY SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "SET STICK" OR EQUAL IS RECOMMENDED.

8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.

9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION E OF THESE SPECIFICATIONS.

10. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACKFILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMING).

11. AMEND PINE AND OAK PLANT PITS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT PITS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.

12. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, BASKETS, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.

13. PRUNING: TREES SHALL BE PRUNED, AT THE DIRECTION OF THE OWNER OR OWNER'S REPRESENTATIVE, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY LICENSED ARBORIST, IN ACCORDANCE WITH ANSI A-300.

14. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6". REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" TO ACHIEVE SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

15. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.

16. MULCHING: PROVIDE A THREE INCH (MINIMUM) LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE PIT PLANTED UNDER THIS CONTRACT.

17. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)

P. LAWN SODDING

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
2. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
3. SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
4. SODDING
- A. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
- B. THE SOD SHALL BE CERTIFIED TO MEET FLORIDA STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.
- C. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS, ADJACENT TO BUILDINGS. A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED - REFER TO DETAILS. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES.

5. DURING SOD LAYING, PREPARE THE SODDING BED TO THE MINIMUM DEPTH REQUIRED BY THE MANUFACTURER. AFTER BACKFILLING THE BED WITH THE PREPARED SOIL MIXTURE, THE CONTRACTOR SHALL RAKE THE SURFACE TO A FINISHED GRADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE SOD AND THOROUGHLY WATERED IN, FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.

6. LAWN MAINTENANCE:

- A. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"X12") UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRAIDING IF NECESSARY).
- B. CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

Q. CLEANUP

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM-CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

R. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF 90 CALENDAR DAYS COMMENCING AFTER ACCEPTANCE.

S. MAINTENANCE (ALTERNATE BID ITEM)

CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST-PER-MONTH BASIS.

T. FINAL INSPECTION AND ACCEPTANCE OF WORK

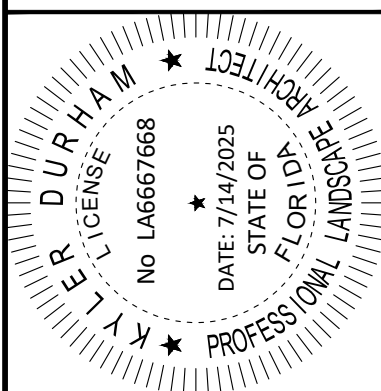
FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

U. WARRANTY

1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE.
2. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED UNDER "PLANTING", AT NO ADDITIONAL COST TO THE OWNER.
3. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

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445 24TH STREET, SUITE 200, VERO BEACH, FL 32960
PHONE: 772-794-4100
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106



KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
047427053	05/08/2025	AS SHOWN	JC	JC	EVU

LANDSCAPE NOTES

STARBUCKS CASHMERE
PREPARED FOR
REGENCY

PSL PROJ #:
P24-148
SHEET NUMBER
L-202

FLORIDA
CITY OF PORT ST. LUCIE

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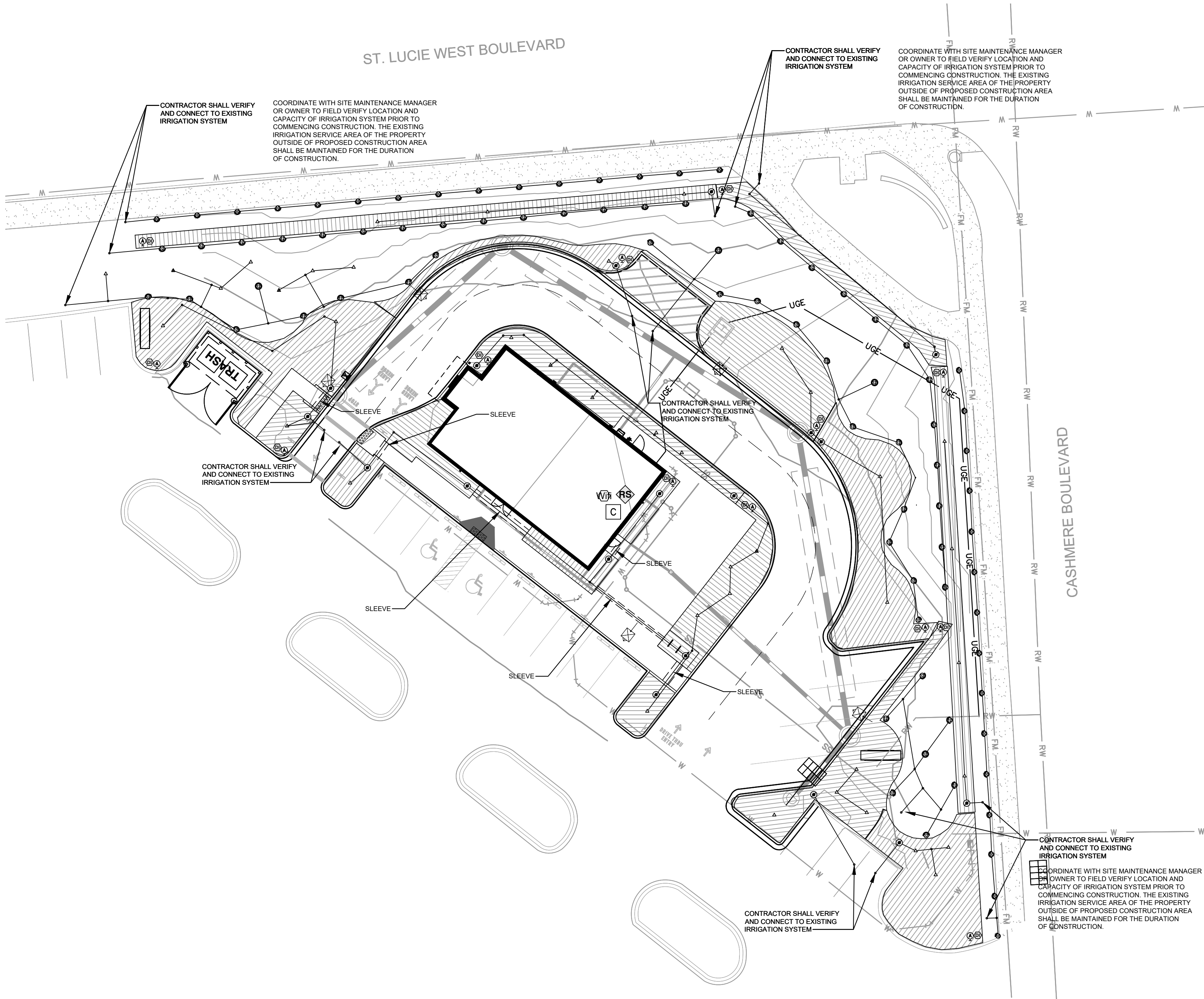
Know what's below.
Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.



Plotted By: Lust, Connor Sheet Set: STARBUCKS CASHMERE Layout: IRRIGATION PLAN July 14, 2025 08:52:01pm K:\VRR-LIDEA\Agency\Florida\Cashmere Starbucks\CAD\plansheets\1-300 IRRIGATION PLAN.dwg

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IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	RAIN BIRD RD-06-P30-F 10 SERIES MPR TURF SPRAY, 6IN. POP-UP, WITH 30 PSI IN-STEM PRESSURE REGULATION, AND FLOW-SHIELD TECHNOLOGY. 1/2IN. NPT FEMALE THREADED INLET.	30	30
	RAIN BIRD RD-06-P30-F 12 SERIES MPR TURF SPRAY, 6IN. POP-UP, WITH 30 PSI IN-STEM PRESSURE REGULATION, AND FLOW-SHIELD TECHNOLOGY. 1/2IN. NPT FEMALE THREADED INLET.	54	30
	RAIN BIRD 1805-1400 FLOOD FLOOD BUBBLER 6.0IN. POPUP	40	60
	RAIN BIRD ARV050 1/2IN. AIR RELIEF VALVE, MADE OF QUALITY RUST-PROOF MATERIALS, WITH A 6IN. DRIP VALVE BOX (SEB 7XB EMITTER BOX). USE WITH INSTALLATION BELOW SOIL. THE VALVE WILL ALLOW AIR TO ESCAPE THE PIPELINE, THUS PREVENTING WATER HAMMER OR BLOCKAGE.	13	
	RAIN BIRD OPERIND DRIP SYSTEM OPERATION INDICATOR, STEM RISES 6IN. FOR CLEAR VISIBILITY WHEN DRIP SYSTEM IS CHARGED TO A MINIMUM OF 20PSI. INCLUDES 16IN. OF 1/4IN. DISTRIBUTION TUBING WITH CONNECTION FITTING PRE-INSTALLED.	13	
	RAIN BIRD XFS-06-24 XFS SUB-SURFACE PRESSURE COMPENSATING DRIPLINE WICOPPER SHIELD TECHNOLOGY, 0.6 GPH EMITTERS AT 24" O.C. LATERALS SPACED AT 24" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. UV RESISTANT. SPECIFY XF INSERT FITTINGS.	4,728 LF	
	RAIN BIRD ESPLXME2 12 STATION TRADITIONALLY-WIRED, COMMERCIAL CONTROLLER. INDOOR/OUTDOOR, PLASTIC WALL-MOUNT ENCLOSURE.	1	
	RAIN BIRD LNK2WIFI UPGRADES CONTROLLERS (ESP-M, ESP-R2XE, STS) TO HAVE WEATHER DATA FOR ET-BASED ADJUSTMENTS (WATERSENSE APPROVED) & WIFI CAPABILITIES.	1	
	RAIN BIRD WS-PRO2-PHS MAXICOM2, SITECONTROL, IQ, OR WEATHER REACH SERVER. COLLECTS AND STORES WEATHER DATA FROM FIELD LOCATIONS. PHONE CONNECT, SOLAR POWER MODEL. DIAL UP PHONE MODEM FOR PHONE COMMUNICATION WITH CENTRAL CONTROLLER, SOLAR POWERED.	1	
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21	2,141 LF	
	PIPE SLEEVE: PVC CLASS 200 TYPICAL PIPE SLEEVE FOR IRRIGATION PIPE. PIPE SLEEVE SIZE SHALL ALLOW FOR IRRIGATION PIPING AND THEIR RELATED COUPLINGS TO EASILY SLIDE THROUGH SLEEVING MATERIAL. EXTEND SLEEVES 18 INCHES BEYOND EDGES OF PAVING OR CONSTRUCTION.	66.4 LF	
	Valve Callout Valve Number Valve Flow Valve Size		

IRRIGATION CONNECTIONS TO EXISTING SYSTEM:

- THE IRRIGATION CONTRACTOR SHALL SECURE ANY AND ALL NECESSARY PERMITS FOR THE WORK PRIOR TO COMMENCEMENT OF HIS OPERATIONS ON-SITE. COPIES OF THE PERMITS SHALL BE SENT TO THE OWNER/GENERAL CONTRACTOR.
- CONTRACTOR SHALL COORDINATE WITH PROPERTY OWNER FOR OPERATING PARAMETERS OF THE EXISTING SYSTEM.
- CONTRACTOR SHALL VERIFY CONTROLLER AND MAINLINE POINT OF CONNECTION AT PROJECT SITE WITH PROPERTY OWNER.
- COORDINATE WITH PLANTING PLAN FOR PLANTER BED LOCATIONS AND TREE LOCATIONS.
- ALL WIRING SHALL BE OF DIRECT BURIAL COPPER WIRE.
- SPRAY HEADS, BUBBLERS, AND LATERALS SHOWN TO EXPRESS THE DESIGN INTENT TO PROVIDE 100% HEAD-TO-HEAD COVERAGE FOR ALL PROPOSED PLANTING AREAS. NEW IRRIGATION SPRAY HEADS AND BUBBLERS ARE TO BE INSTALLED TO SERVE PROPOSED PLANTINGS, AMENDING AN EXISTING NO-SITE IRRIGATION SYSTEM. CONTRACTOR SHALL MAKE ADJUSTMENTS TO THE DESIGN INTENT LAYOUT TO CONNECT TO THE EXISTING SYSTEM. IT IS ASSUMED THAT THE CONTRACTOR MAY NEED TO INSTALL ADDITIONAL LATERALS, SLEEVES, EXTEND MAINLINE, OR ADD CONTROL VALVES AND WIRING TO ACCOMMODATE THE IRRIGATION SYSTEM AMENDMENTS.
- VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. ALL UTILITIES AND STRUCTURES MAY NOT BE SHOWN ON THESE PLANS-CONTRACTOR SHALL VERIFY THEIR LOCATION.
- ALL PRESSURE MAINLINES UNDER ASPHALT PAVEMENT SHALL BE PLACED WITHIN SLEEVES AS NOTED. WHERE ELECTRIC VALVE CONTROL LINES PASS THROUGH A SLEEVE WITH OTHER MAIN OR LATERAL LINES THEY SHALL BE CONTAINED WITHIN A SEPARATE, SMALLER CONDUIT. ALL SLEEVES SHALL BE SIZED TWO PIPE SIZES GREATER THAN PIPE IT CARRIES.
- CONTRACTOR SHALL PROVIDE "AS-BUILT" DRAWINGS OF THE FINAL INSTALLATION TO OWNER AT SUBSTANTIAL COMPLETION BEFORE RECEIVING FINAL PAYMENT. ALL SLEEVES UTILIZED BY THE IRRIGATION CONTRACTOR, WHETHER INSTALLED BY HIM OR NOT, SHALL BE LOCATED ON THE "AS-BUILT" DRAWINGS. THE DEPTH BELOW FINISH GRADE, TO THE NEAREST FOOT OF EACH END OF EACH SLEEVE SHALL BE NOTED AT EACH SLEEVE LOCATION ON THE "AS-BUILT" DRAWINGS.

IRRIGATION DESIGN NOTES:

- INSTALLATION WORK SHALL BE COORDINATED WITH OTHER CONTRACTORS IN SUCH A MANOR AS TO ALLOW FOR SPEEDY AND ORDERLY COMPLETION OF ALL WORK ON THE SITE.
- ALL PROPOSED TREES AND SHRUBS SHALL BE IRRIGATED BY A 100% AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- IRRIGATION SYSTEM SHALL BE CAPABLE OF SUPPLYING AN AVERAGE OF 1" OF WATER PER WEEK WITHIN WATERING RESTRICTIONS AS APPLICABLE.
- IRRIGATION SYSTEM SHALL NOT BE INSTALLED THROUGH EXISTING, OR PRESERVED PLANT COMMUNITIES.
- IRRIGATION SPRINKLER ZONES SHALL BE SEPARATED FOR HIGH AND LOW WATER REQUIREMENTS AND OPERATING ON DIFFERENT WATERING CYCLES.
- IRRIGATION OVERTHROW TO IMPERVIOUS AND NATURAL AREAS SHALL BE MINIMIZED.
- A RAIN SENSOR SHALL BE INSTALLED WITH THE IRRIGATION CONTROL SYSTEM, INSTALLED AT A LOCATION TO BE COORDINATED WITH OWNER.
- IRRIGATED AREAS SHALL BE FULLY IRRIGATED WITH SPRAY HEADS & ROTORS SPACED TO PROVIDE 100% HEAD TO HEAD COVERAGE. ALL PROPOSED TREES AND PALMS SHALL BE IRRIGATED WITH TREE BUBBLERS.
- THIS PLAN DEPICTS DESIGN INTENT ONLY FOR AMENDING AN EXISTING IRRIGATION SYSTEM AND ITS SOLE PURPOSE IS TO PROVIDE GUIDANCE FOR IRRIGATION IMPROVEMENTS REQUIRED TO SERVE PROPOSED PLANTINGS. THE SELECTED CONTRACTOR IS REQUIRED TO PROVIDE AN IRRIGATION DESIGN, AS REQUIRED BY THE PERMIT AGENCY. CONTRACTOR'S IRRIGATION DESIGN TO BE REVIEWED AND APPROVED BY THE OWNER PRIOR TO SUBMITTING FOR AN IRRIGATION SYSTEM CONSTRUCTION PERMIT.
- POINT OF CONNECTION TO BE DETERMINED BY IRRIGATION CONTRACTOR AND VERIFIED WITH THE LANDSCAPE ARCHITECT. IRRIGATION SYSTEM CONNECTIONS TO THE CITY OR COUNTY SERVICE SHALL COMPLY WITH ALL APPLICABLE CODES.
- IRRIGATION SYSTEM CONNECTION TO POTABLE WATER SUPPLY WILL REQUIRE A DEDICATED IRRIGATION METER AND BACKFLOW PREVENTER, IRRIGATION CONTRACTOR RESPONSIBLE FOR ASSOCIATED PERMITTING AND FEES.

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DESIGNED BY JC
DRAWN BY JC
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PREPARED FOR REGENCY
CITY OF PORT ST. LUCIE, FLORIDA

IRRIGATION PLAN

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